

**TYRONE TOWNSHIP
BOARD MEETING AGENDA
MARCH 26, 2024 - 7:00 P.M.
(810) 629-8631**

CALL TO ORDER – PLEDGE OF ALLEGIANCE – 7:00 P.M.

ROLL CALL

APPROVAL OF AGENDA – OR CHANGES

APPROVAL OF CONSENT AGENDA

Treasurer’s Report – February 29, 2024
Clerk’s Warrants and Bills – March 21, 2024

COMMUNICATIONS

PUBLIC REMARKS

UNFINISHED BUSINESS

NEW BUSINESS

1. Tyrone Party Store Site Plan Review.
2. REU bulk purchase and Livingston County purchase offer.
3. Final 2023-2024 budget amendment.
4. Request to award fire well contract.
5. Resolution to extend the solar energy moratorium.
6. Resolution for moratorium on wind projects.
7. Resolution for moratorium on battery storage systems.
8. Renewal of commercial insurance policy for township hall.
9. Historic townhouse electrician bids.

MISCELLANEOUS BUSINESS

PUBLIC REMARKS

ADJOURNMENT

* * * * *

Supervisor Mike Cunningham Clerk Pam Moughler

Please note: Anyone wishing to address the Township Board may do so during Public Remarks. The Tyrone Township Board of Trustees has established a policy limiting the time a person may address the Township Board at a regular or at a special meeting during the Public Remarks section of the agenda to three minutes. The Board reserves the right to place an issue under the New Business section of the agenda if additional discussion is warranted or to respond later either verbally or in writing through an appropriately appointed Township Official. Individuals with disabilities requiring auxiliary aids or services should contact the Tyrone Township Clerk at (810) 629-8631 at least seven days prior to the meeting.

CONSENT AGENDA

Treasurer's Report – February 29, 2024
Clerk's Warrants and Bills – March 21, 2024

TYRONE TOWNSHIP TREASURER'S REPORT

Period ending February , 2024

TOWNSHIP FUNDS	Interest Ckg	INVESTMENTS ICS	Int Rate	MICHIGAN CLASS	Int Rate Monthly AVG.	FLG PEG CD matures 8/9/23	Int rate	Grand Totals Each Fund
General 101	\$973,927.13	\$ 5,375,443.94	3.00%					\$ 6,349,371.07
Tech Fund 141	\$51,781.85	\$ 5,000.00	2.99%					\$56,781.85
Building & Site 145	\$129,938.67	\$ 107,500.00	2.99%					\$237,438.67
Parks/Recreation 208	\$5,934.23		0.40%					\$5,934.23
Liquor Control 212			0.40%					\$0.00
Road 245	\$24,447.78	\$ 194,224.80	2.22%	\$283,247.73	4.85%			\$ 501,920.31
Revolving 246	\$24,966.26	\$ 97,500.00	0.40%	\$208,075.91	4.85%			\$ 330,542.17
Right of Way 259	\$45,899.08		0.40%					\$45,899.08
Peg 274	\$248,029.37					\$ 200,213.75	2.70%	\$448,243.12
Lk Tyrone Grant 281			0.40%					\$0.00
Special Assessments								
Jayne Hill Lts 218	\$284.03		0.40%					\$284.03
Walnut Shores Lts 219	\$646.68		0.40%					\$646.68
Shannon Glen Rubbish 225	\$1,236.90							\$1,236.90
Jayne Hill Rubbish Removal 226	\$4,585.30		0.40%					\$4,585.30
Apple Orchard Rubbish Removal 230	\$985.54							\$985.54
Great Oaks Dr 232	\$11,559.16		0.40%					\$11,559.16
Laural Springs Rubbish removal 233	\$2,807.00							\$2,807.00
Silver Lake Rubbish Removal 234	\$1,236.28							\$1,236.28
Parkin Lane Snow 238	\$11,492.64		0.40%					\$11,492.64
Account Totals	\$1,539,757.90	\$ 5,779,668.74		\$491,323.64		\$ 200,213.75		\$ 8,010,964.03
Health Flex Spending 101		The State Bank						Health Flex Total
FSA Account (\$10K Loan to Open)		\$ 15,228.96	0.00%					\$ 15,228.96
								\$ 15,228.96
Public Safety- 205								Public Safety Total
Public Safety 205 - State Bank checking		\$ 19,268.18	0.40%					\$ 19,268.18
Public Safety 205- State Bank Savings		\$ 6,421.02	3.04%					\$ 6,421.02
Public Safety 205 - First Merchant		\$ 206,156.08	0.16%					\$ 206,156.08
Public Safety ICS- 205 State Bank		\$ 767,059.24	2.22%					\$ 767,059.24
								\$ 998,904.52
SEWER O&M CHECKING ACCT- 590		Flagstar						Sewer O&M Total
Sewer Operation and Maintenance CK (5710)		\$ 343,338.30	0.95%					\$ 343,338.30
Sewer Operation and Maintenance SV (4865)		\$ 5,171.94	4.22%					\$ 5,171.94
CIBC- O&M CD(matures 8/8/24)(6337)		\$ 167,643.23	2.55%					\$ 167,643.23
Flagstar O&M CDARS (matures 8/8/2024)(6719)		\$ 148,011.30	4.93%					\$ 148,011.30
Flagstar CD O&M (matures 8/12/2024)(4710)		\$ 150,673.14	2.70%					\$ 150,673.14
								\$ 814,837.91
TYRONE TOWNSHIP SEWER 2003- 599		Flagstar/CIBC						Tyrone Sewer 03 Total
Debt Service 599 Flagstar Bank		\$ 770,939.66	1.0%					\$ 770,939.66
Flagstar CDARS 2003 (matures 4/18/2024)(2241)		\$ 552,742.01	0.80%					\$ 552,742.01
CIBC CD 2003 (matures 3/28/24)(8551)		\$ 1,051,096.19	4.15%					\$ 1,051,096.19
Flagstar CDARS 2003 Fund Matures 3/14/2024(1142)		\$ 475,355.94	4.57%					\$ 475,355.94
								\$ 2,850,133.80
TRUST & AGENCY- 701		Chase						Trust & Agency Total
Township Trust and Agency 701 Savings		\$ 1,515.39	0.05%					\$ 1,515.39
Township Trust and Agency 701 Checking		\$ 38,032.13	0.00%					\$ 38,032.13
								\$ 39,547.52
Road Improvements-		Flagstar						Road Improvement Total
Parkin Lane Rd 2010 (858)		\$ 30,871.08	1.05%					\$ 30,871.08
Lake Shannon 2018 (863)		\$ 274,776.60	1.05%					\$ 274,776.60
Laurel springs (864)		\$ 51,091.39	1.05%					\$ 51,091.39
Irish Hills (865)		\$ 194,086.76	1.05%					\$ 194,086.76
CIBC- Parkin Lane CD(matures 8/8/2024) 1515		\$ 100,919.45	2.55%					\$ 100,919.45
								\$ 651,745.28
								\$ 5,370,397.99
								\$ 13,381,362.02

Total Township Monies			\$ 13,381,362.02
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Check Date	Check	Vendor Name	Amount
Bank 001 STATE BANK COMMON ACCOUNT			
03/19/2024	23907	ACCIDENT FUND COMPANY OF	375.75
03/19/2024	23908	AT&T MOBILITY	234.39
03/19/2024	23909	BLUE CROSS BLUE SHIELD OF MICHIGAN	12,226.10
03/19/2024	23910	CARLISLE/WORTMAN ASSOCIATES, INC	1,800.00
03/19/2024	23911	CHARTER COMMUNICATIONS	134.98
03/19/2024	23912	CONSUMERS ENERGY	271.95
03/19/2024	23913	FOSTER SWIFT	357.50
03/19/2024	23914	GRIFFIN PEST SOLUTIONS, INC	51.00
03/19/2024	23915	HAMILTON'S PROPANE	1,755.52
03/19/2024	23916	HARRIS & LITERSKI	1,584.00
03/19/2024	23917	LIVINGSTON COUNTY TREASURER	1,200.00
03/19/2024	23918	MICHIGAN TOWNSHIPS ASSOCIATION	18.00
03/19/2024	23919	PITNEY BOWES BANK RESERVE ACCOUNT	273.87
03/19/2024	23920	REPUBLIC SERVICES#237	529.70
03/19/2024	23921	SHOEMAKER SERVICES INC	840.00
03/19/2024	23922	STAPLES ADVANTAGE	204.53
03/19/2024	23923	VC3 INC.	124.00
03/19/2024	23924	VOYA INSTITUTIONAL TRUST COMPANY	1,030.00
03/21/2024	23925	FOX, MICHAEL J.	1,600.00

001 TOTALS:

Total of 19 Checks:	24,611.29
Less 0 Void Checks:	0.00
Total of 19 Disbursements:	24,611.29

Bank 022 STATE BANK - PUBLIC SAFETY checking

03/19/2024	1408	CITY OF FENTON	12,308.00
03/19/2024	1409	HARTLAND AREA FIRE DEPARTMENT	2,922.00
03/19/2024	1410	ROSATI,SCHULTZ,JOPPICH&AMTSBUECHLER	126.00

022 TOTALS:

Total of 3 Checks:	15,356.00
Less 0 Void Checks:	0.00
Total of 3 Disbursements:	15,356.00

Bank 108 TAX FUND FLAGSTAR

03/21/2024	3451	TYRONE TOWNSHIP	748,835.73
03/21/2024	3452	TYRONE TOWNSHIP	109,249.53
03/21/2024	3453	TYRONE TOWNSHIP	828,500.00
03/21/2024	3454	TYRONE TOWNSHIP	191,200.54
03/21/2024	3455	TYRONE TOWNSHIP	69,628.80

108 TOTALS:

Total of 5 Checks:	1,947,414.60
Less 0 Void Checks:	0.00
Total of 5 Disbursements:	1,947,414.60

Bank 203 TRUST & AGENCY 701 CKG

03/19/2024	2077	LIVINGSTON COUNTY TREASURER	3,917.50
03/19/2024	2078	TYRONE TOWNSHIP	783.51

203 TOTALS:

Total of 2 Checks:	4,701.01
Less 0 Void Checks:	0.00
Total of 2 Disbursements:	4,701.01

REPORT TOTALS:

Total of 29 Checks:	1,992,082.90
Less 0 Void Checks:	0.00
Total of 29 Disbursements:	1,992,082.90

NEW BUSINESS #1

Tyrone Party Store Site Plan Review.

February 27, 2024

Township Board

Tyrone Township

8420 Runyan Lake Road

Fenton, MI 48430

Subject: Agenda Request – Tyrone Party Store Site Plan Review

Dear Township Board Members:

During our regular meeting on January 9, 2024, the Planning Commission moved to recommend Township Board approval of the amended Tyrone Party Store site plan with conditions (motion carried by unanimous voice vote). The property is located at 9485 Center Rd./ Parcel ID # 4704-17-400-006. The conditions placed on the application have been fulfilled to the satisfaction of the Planning Commission Subcommittee as of 02/26/2024. As principal permitted uses in the Expressway Services (ES) Zoning District, site plan approval by the Township Board is required. It is recommended that the Township Board evaluate whether the current allocation of Residential Equivalency Units (REUs) for sewer is sufficient for the proposed uses or if additional REUs may be required in accordance with Regulatory Ordinance # 43A (Sewer Use and Rate Ordinance). Attached are the application, site plan documents, Planner review, and related correspondence.

Respectfully,

Steve Krause

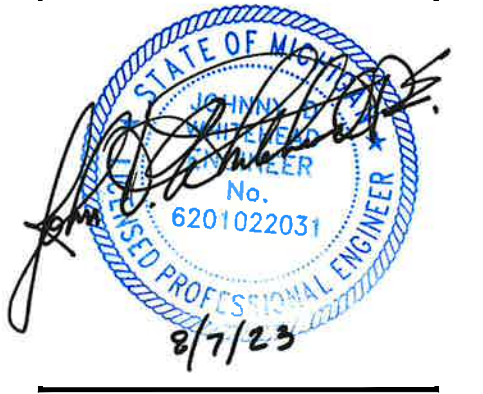
Chairman, Planning Commission

TYRONE PARTY STORE

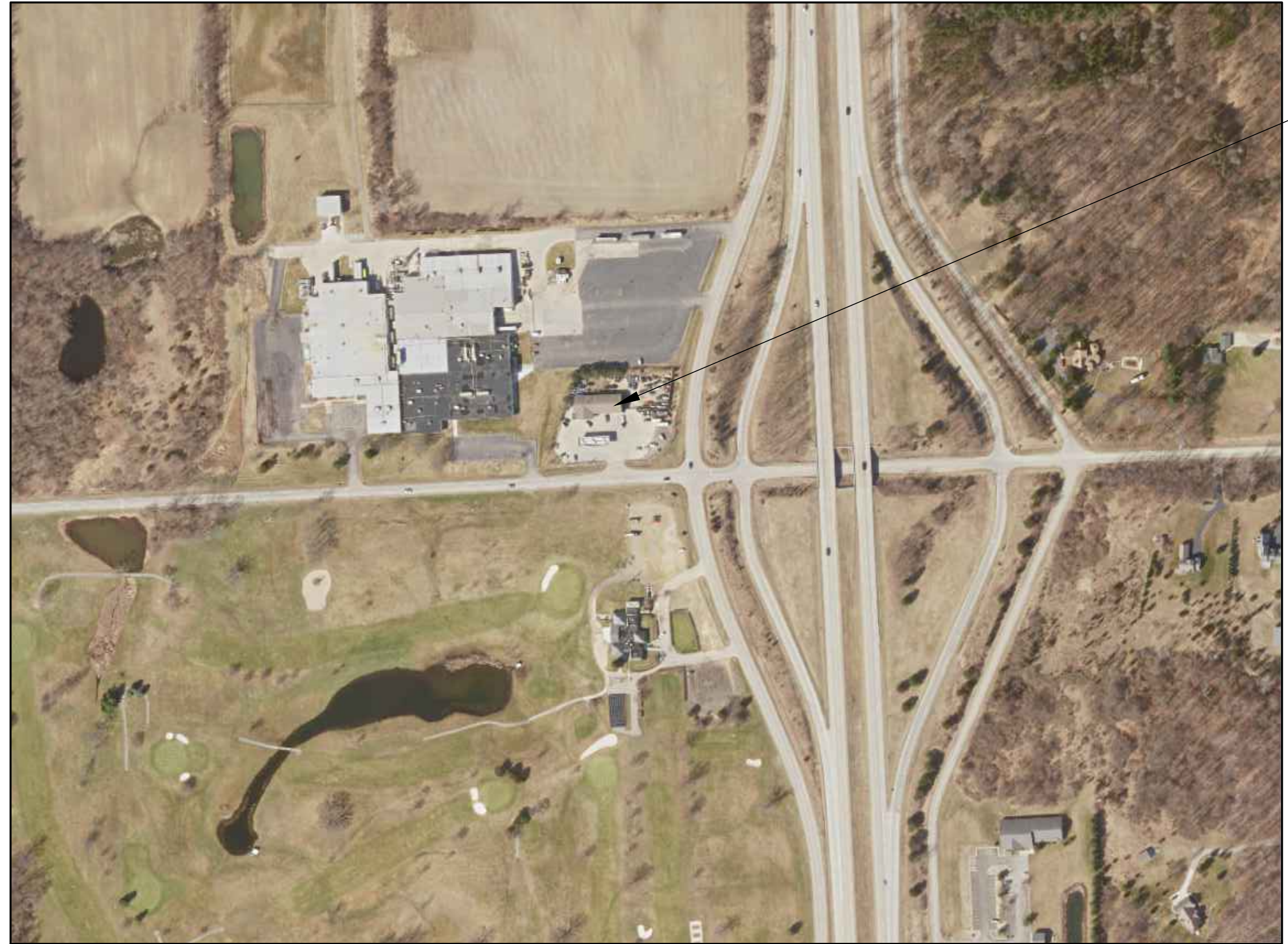
9485 CENTER ROAD

FENTON, MICHIGAN 48430

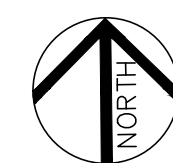
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TYRONE PARTY STORE
 9485 CENTER ROAD
 TYRONE TOWNSHIP, LIVINGSTON COUNTY, MI.



PROJECT LOCATION



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ARCHITECTURAL

- A-0.1 COVER SHEET, DRAWING INDEX
- A-1.0 CODES SHEET
- A-1.1 FLOOR PLAN
- A-1.2 ARCHITECTURAL INTERIOR SCHEDULE
- A-1.3 ARCHITECTURAL EXTERIOR SCHEDULE
- A-1.4 BARRIER FREE DETAILS
- A-2.0 EXTERIOR ELEVATION
- D-1.0 DEMOLITION PLAN

CIVIL

- C-2.0 SURVEY PLAN
- C-3.0 SITE PLAN
- C-4.0 PHOTOMETRIC PLAN

STRUCTURAL

- S-100 STRUCTURAL NOTES
- S-101 STRUCTURAL FRAMING PLAN
- S-102 STRUCTURAL SECTIONS AND DETAILS

ELECTRICAL

- E-100 ELECTRICAL POWER PLAN
- E-101 ELECTRICAL LIGHTING PLAN
- E-102 ELECTRICAL PANEL SCHEDULES AND RISER DIAGRAM
- E-103 EMERGENCY LIGHTING PLAN

MECHANICAL

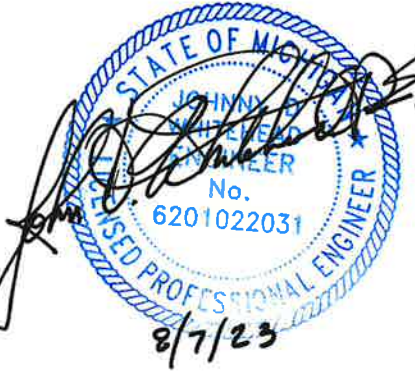
- M-001 MECHANICAL NOTES
- M-002 MECHANICAL NOTES
- M-100 MECHANICAL FLOOR PLAN
- M-101 MECHANICAL SCHEDULES

PLUMBING

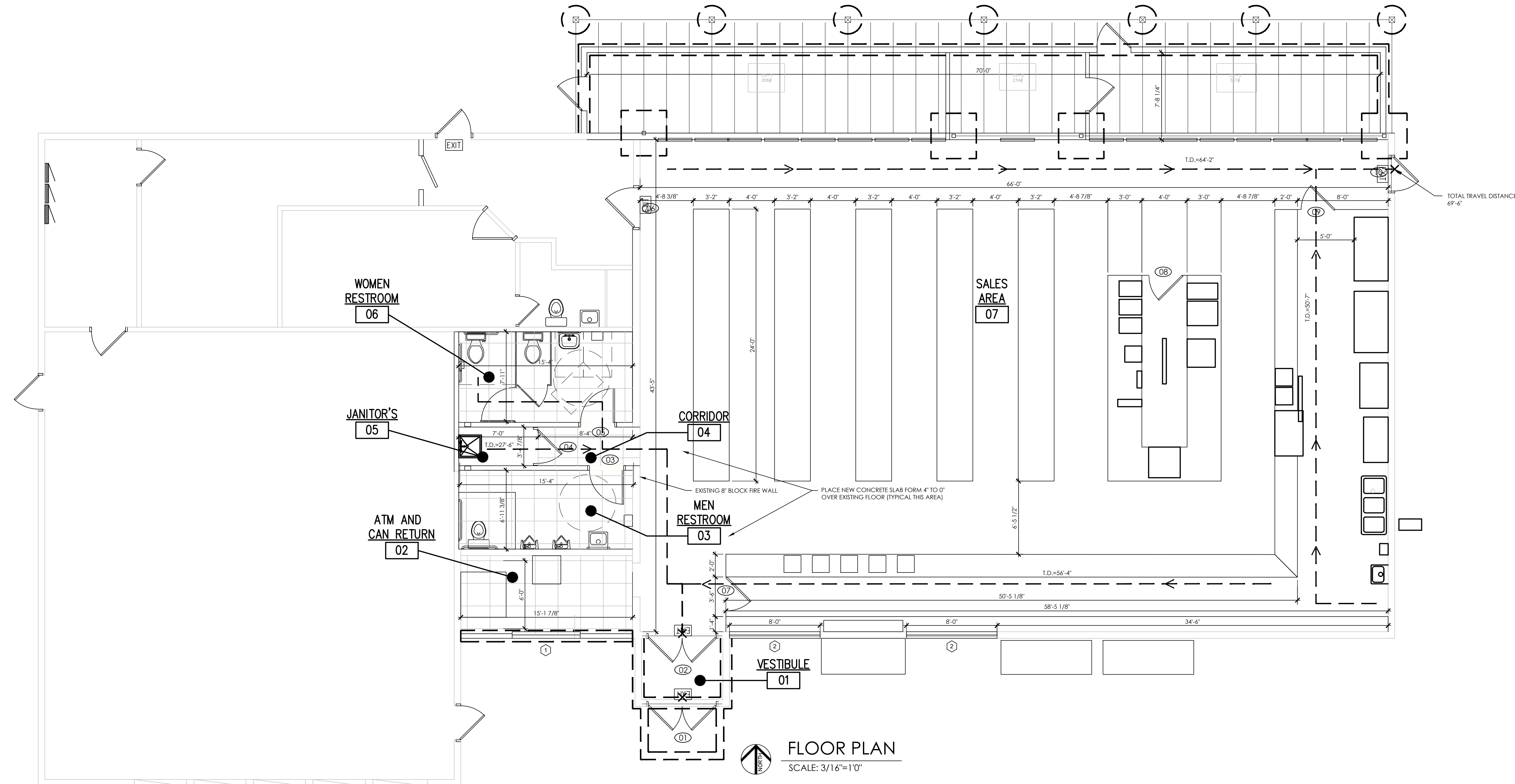
- P-001 PLUMBING NOTES
- P-100 PLUMBING FLOOR PLAN
- P-101 PLUMBING SCHEDULES

ISSUED FOR	DATE
OWNER REVIEW	12/01/2022
PERMITS	07/25/2023
T.T. REVIEW #1	02/14/2024

DRAWN • JDL
CHECKED • JDT
SCALE • NONE
JOB NO • TE-22-168
SHEET TITLE
COVER SHEET
DRAWING INDEX
 SHEET
A-0.1



TYRONE PARTY STORE
 9485 CENTER ROAD
 TYRONE TOWNSHIP, LIVINGSTON COUNTY, MI.



FLOOR PLAN
 SCALE: 3/16"=1'0"

WALL MOUNTED ADA ACCESSIBILITY SIGNAGE

GENERAL NOTES:
 1. SIGNAGE LOCATION & HEIGHT
 THESE REQUIREMENTS SPECIFICATION IS PROVIDED FOR ROOMS AND SPACES. SIGNAGE IS TO BE PLACED ON THE LATCH SIDE OF THE DOOR, INCLUDING AT DOUBLE LEAF DOORS. SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL. MOUNTING LOCATION FOR EACH SIGNAGE SHALL BE SO THAT A PERSON MAY APPROACH WITHIN 3' OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS FOR STANDING WITHIN THE SWING OF A DOOR.

PANELS AND CONTRAST
 THE CHARACTERIZED BACKGROUND SHALL BE NON-GLOSS FINISH. THE CHARACTER AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND.

SYMBOLS OF ACCESSIBILITY
 FACTORIES THAT EMPLOYERS ARE REQUIRED TO BE IDENTIFIED AS ACCESSIBLE SHALL USE THE SIGN.

3" H. X 5" W. BRAILLE
 EXIT SIGN
 SIGNED BACKGROUND
 W/ RAKED CORNERS
 TACTILE EXIT SIGN, A TACTILE SIGN STATING EXIT AND COMPLYING WITH ICC A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN EGRESS STAIRWAY, AN EXIT PASSAGEWAY AND THE EXIT DISCHARGE.

3/16" X 1/32" RAISED LETTERS - 3W.
 5/16" RATIO UPPERCASE SAND SERIF
 BRAILLE - GRADE 2, 1/10" O.C. IN EACH CELL, 2/10" SPACE BETWEEN CELLS
 RAISED 1/40" ABOVE BACKGROUND

TACTILE SIGNS - ICC/ANSI A 117.1

HEIGHT ABOVE FINISH FLOOR OR GRADE.
 TACTILE CHARACTERISTICS ON SIGNS SHALL BE LOCATED AS NOTED IN 2.1.9 MINIMUM ABOVE THE FINISH FLOOR OR GRADE SURFACE, MEASURED FROM THE BASELINE OF THE LOWEST BRAILLE CELLS AND 60 INCHES (1524 MM) MAXIMUM ABOVE THE FINISH FLOOR OR GRADE SURFACE, MEASURED FROM THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS.

TACTILE EXIT SIGNS ARE REQUIRED AT THE EXIT DISCHARGE DOORS PER SECTION 101.4.4. A TACTILE SIGN STATING EXIT AND COMPLYING WITH ICC A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN AREA OF REFUGE, AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT CORRIDOR, AN EXIT RAMP, AN EXIT PASSAGEWAY AND THE EXIT DISCHARGE.

FIGURE 703.3.1.1
 LOCATION OF TACTILE SIGNS AT DOORS

EGRESS PLAN LEGEND

- → → TRAVEL ROUTE FROM SPACE TO EXIT
- ◁ ▷ EXIT DOOR WITH PANIC HARDWARE, TACTILE SIGNAGE, EMERGENCY LIGHTING UNIT, ILLUMINATED EXIT SIGN (MOUNTED ABOVE DOOR)

EGRESS NOTES

- G.C. TO FURNISH & INSTALL NEW FIRE EXTINGUISHERS AS REQ'D BY LOCAL CODES. WHEN MOUNTING ADJACENT TO DOOR OPENING, MAINTAIN 12" CLEAR TO DOOR OPENING FOR ADA COMPLIANCE. FINAL LOCATION, MOUNTING HEIGHT, & QUANTITY BY FIRE INSPECTOR. G.C. TO VERIFY FIRE MARSHAL REQUIREMENTS FOR INSPECTION & TAGGING.

MEANS OF EGRESS

6 EXISTING EXIT DOORS = 33' / DOOR
 TOTAL INCHES PROVIDED = 198"

133 OCCUPANTS x 0.15 = 19.95' REQ'D < 198" PROVIDED
 198" / 0.15 = 1,320 OCCUPANTS > 133 OCCUPANTS (COMPLIANT)

MAXIMUM ALLOWED TRAVEL DISTANCE:
 200' FOR 'F-1' OCCUPANCY WITHOUT SPRINKLER SYSTEM
 MAXIMUM ACTUAL TRAVEL DISTANCE: 156'

OCCUPANCY (PER MBC TABLE 1.004.1.2)

TOTAL BUILDING AREA: 2866 SF GROSS

USE/SPACE NAME	AREA	OCCUPANCY	SF / OCC.	MAX. OCC.
AGRICULTURAL STORE AREA	2866 SF	MERCANTILE	60	48
TOTAL MAXIMUM OCCUPANTS:				48

BUILDING CODE ANALYSIS

PROJECT: CONVENIENCE STORE - INTERIOR BUILD-OUT

APPLICABLE CODES:
 MBC 2015
 ICC/ANSI 117.1-2009

MPC 2015
 MMC 2015
 IFGC 2015
 NEC 2014 w/ Part 8 Amendments
 IFC 2015 as referenced in the 2015 MBC
 NFPA 13-2013
 NFPA 72-2013

MBC 2015 Ch 13
 MEC 2015 Ch 4 & Part 10.a Rules
 (ANSI/ASHRAE 90.1-2013)

EXISTING INDUSTRIAL BUILDING

BUILDING CONSTRUCTION TYPE: TYPE II-B (EXISTING)
 WALLS: 2X6 STUDS & DRYWALL INTERIOR FINISH
 ROOF: WOOD ROOF TRUSSES/JOISTS
 FLOOR: CONCRETE SLAB (NON-SPRINKLED)
 BUILDING USE GROUP: M - MERCANTILE

PLUMBING FIXTURES (PER MPC TABLE 403.1)

F-1 FACTORY: WATER CLOSET : 1 M/F per 100 OCC.
 LAVATORY : 1 M/F per 400 OCC.

REQUIRED:
 1 M/F WATER CLOSET
 1 M/F LAVATORY

PROVIDED:
 2 M/F BARRIER-FREE WATER CLOSET
 2 M/F BARRIER-FREE LAVATORY

MPC 403.2 Separate Facilities
 Where plumbing fixtures are required, separate facilities shall be provided for each sex.
 Exceptions: Separate facilities shall not be required for private facilities.

1 SERVICE SINK PROVIDED

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ISSUED FOR	DATE
OWNER REVIEW	12/01/2022
PERMITS	07/28/2023

DRAWN	JDL
CHECKED	JDT
SCALE	
JOB NO	TE-22-168

SHEET TITLE
CODE COMPLIANCE

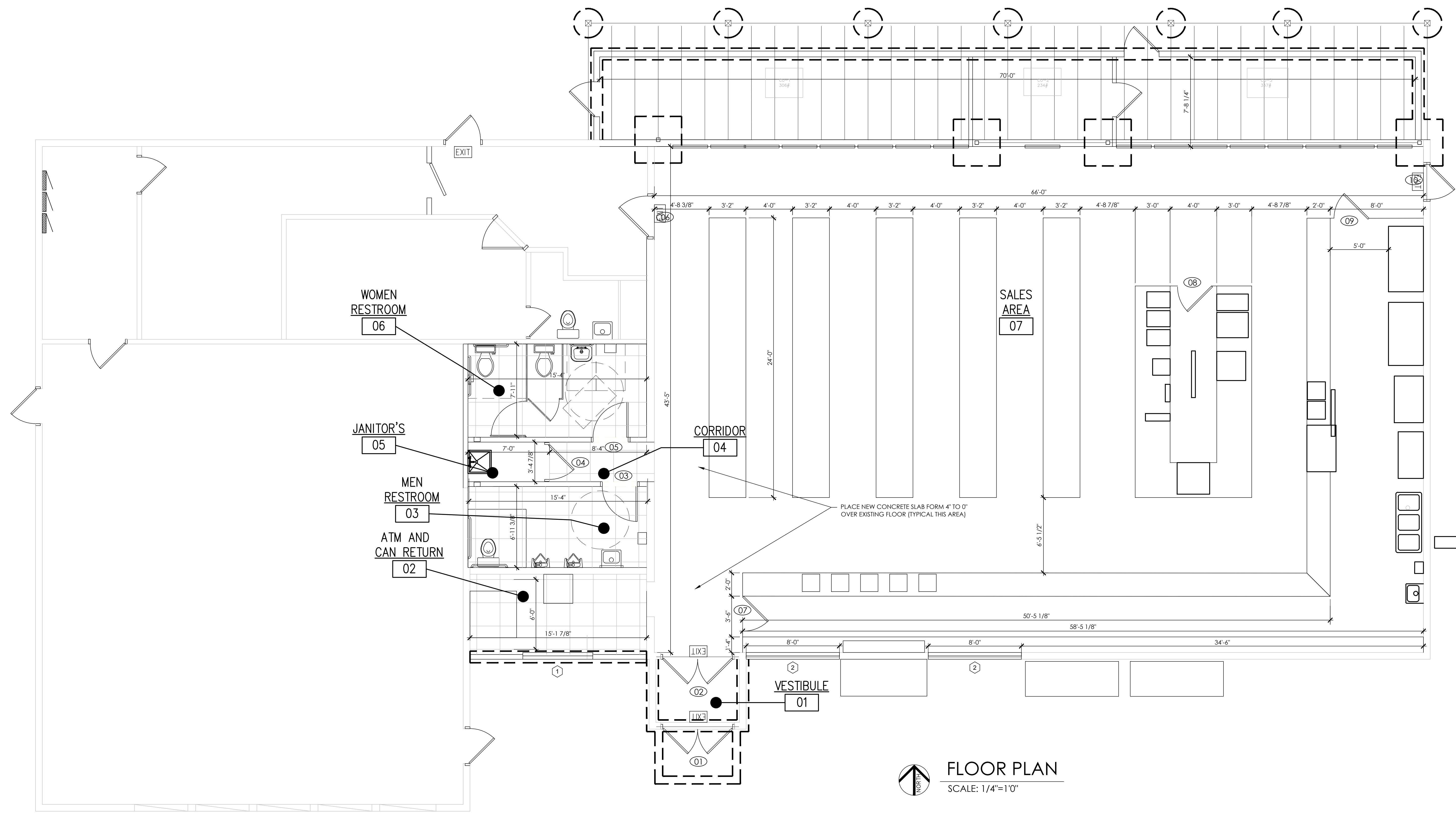
SHEET
A-1.0



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TYRONE PARTY STORE
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FLOOR PLAN
 SCALE: 1/4"=1'0"

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ISSUED FOR	DATE
OWNER REVIEW	12/01/2022
PERMITS	07/28/2023

DRAWN : JDL
 CHECKED : JDT
 SCALE :
 JOB NO : TE-22-168
 SHEET TITLE :
FLOOR PLAN
 SHEET
A-1.1



DOOR SCHEDULE								
DOOR NUMBER	SIZE	THICKNESS	MATERIAL	TYPE	FRAME	TYPE	HARDWARE SET	REMARKS
01	6'-0"x7'-0"	1-3/4"	H.M.	FLUSH	H.M.	D	A,D,E	
02	6'-0"x7'-0"	1-3/4"	H.M.	FLUSH	H.M.	D	A,D,E	
03	3'-0"x7'-0"	1-3/4"	WD	FLUSH	H.M.	G	B	PAINT HM FRAME GRAY
04	3'-0"x7'-0"	1-3/4"	WD	FLUSH	H.M.	G	B	PAINT HM FRAME GRAY
05	3'-0"x7'-0"	1-3/4"	WD	FLUSH	H.M.	G	B	PAINT HM FRAME GRAY
06	3'-0"x7'-0"	1-3/4"	H.M.	FLUSH	H.M.	F	A	PAINT HM FRAME GRAY
07	3'-0"x3'-6"	1-3/4"	H.M.	FLUSH	H.M.	H		1/2 DOOR SWING BOTH DIRECTIONS
08	3'-0"x3'-6"	1-3/4"	H.M.	FLUSH	H.M.	H		1/2 DOOR SWING BOTH DIRECTIONS
09	3'-0"x3'-6"	1-3/4"	H.M.	FLUSH	H.M.	H		1/2 DOOR SWING BOTH DIRECTIONS
10	3'-0"x7'-0"	1-3/4"	H.M.	FLUSH	H.M.	B	A,D,E	PAINT HM FRAME GRAY

NOTE: COORDINATE HARDWARE WITH OWNER'S SECURITY KEY CARD ACCESS SYSTEM

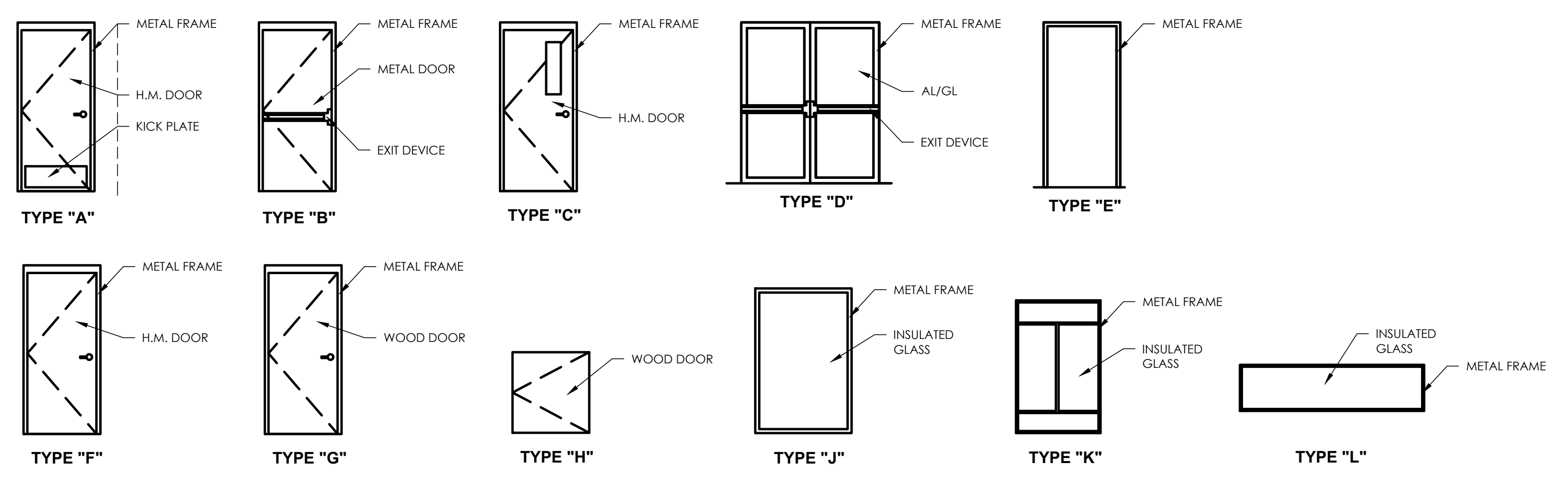
WINDOW SCHEDULE				
WINDOW NUMBER	WINDOW			REMARKS
	SIZE	MATERIAL	TYPE	
①	4'-6" x 6'-0"	MTL	J	
②	8'-0" x 2'-0"	MTL	L	
③				
④				
⑤				

A NOTE: INFILL MATERIALS
1. METAL STUD - 600 S 137 43
2. INSULATION - R-13
3. DRYWALL - 5/8" DRYWALL

ROOM NUMBER	FLOOR		BASE	WALL			CEILING								
	RESILIENT (SHEET/PLANK)	EXPOSED CONC. W/ EPOXY	TERRAZO/EPOXY	RESILIENT	CERAMIC TILE	NONE	DRYWALL - PAINT	TILE BACKER BOARD	SUBWAY TILE	STAINLESS STEEL PLATE	EXPOSED - PAINTED BLACK	EXISTING - PAINT BLACK	METAL PANEL	DROP-IN CEILING W/ GRID	CEILING HEIGHT
01															9'-0"
02															9'-0"
03															9'-0"
04															9'-0"
05															OPEN
06															9'-0"
07 NORTH WALL															OPEN
07 SOUTH WALL															OPEN
07 EAST WALL															OPEN
07 WEST WALL															OPEN

NOTES:
1. WALL IN SALES AREA TO BE PAINTED MARATHON GRAY FROM THE TOP OF THE DOOR TO THE FLOOR, AND FROM THE TOP OF THE DOOR A 36" STRIPE MARATHON BLUE FROM THERE UP AND INCLUDING THE CEILING PAINT BLACK.
2. SUBWAY TILE ON EAST WALL IS FROM FINISHED FLOOR TO 8'-0" ABOVE FINISH FLOOR.
3. BOTH RESTROOMS SUBWAY TILE IS FROM FINISH FLOOR TO CEILING.
4. CAN RETURN ROOM SUBWAY TILE IS FROM FINISHED FLOOR TO CEILING.
5. CORRIDOR SUBWAY TILE IS FROM FINISHED FLOOR TO CEILING.
6. VESTIBULE WALLS ARE STAINLESS STEEL PLATE FROM FINISHED FLOOR TO 4'-0" ABOVE FINISHED FLOOR, DRYWALL AND PAINT TO CEILING.
7. COLOR OF SUBWAY TILE TO BE SELECTED BY OWNER
8. ALL MARATHON PAINT IS TO BE PER MARATHON PETROLEUM CORPORATION IDENTIFICATION STANDARDS

DOOR & WINDOW/FRAME TYPES



GENERAL NOTES:

- DOOR HANDLES, PLUS LATCH LOCKS AND OTHER OPERATING DEVICES SHALL BE CAPABLE OF OPERATION WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, THIGH PINCHING OR TWISTING OF WRIST TO OPERATE. ALL MEANS OF EGRESS WHERE SERVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS THE OPENING FORCE FOR INTERIOR SIDE SWING DOORS WITH-OUT CLOSER SHALL NOT EXCEED 5 POUNDS FORCE. FOR ALL OTHER SIDE SWING, SLIDING AND FOLDING DOORS, THE DOOR LATCH SHALL RELEASE WHEN SUBJECT TO A 15-POUND FORCE. THE DOOR SHALL SWING TO FULL-OPEN POSITION WHEN SUBJECT TO A 15-POUND FORCE. FORCE SHALL BE APPLIED TO THE LATCH SIDE.
- ALL MEANS OF EGRESS DOORS SHALL BE READILY OPERABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE, OR EFFORT.
- ALL EXIT DOORS AND MEANS OF EGRESS DOORS SHALL BE SIDE HINGED, NON-LOCKING AND SWING IN DIRECTION OF EGRESS

LEGEND

HARDWARE	DOOR TYPE A
A KEY LOCK SET	HM HOLLOW METAL
B PRIVACY LOCK	AG ALUMINUM / GLASS
C PASSAGE SET	AL ALUMINUM
D CLOSER	RH RED METAL FRAME
E NON-LOCKING AGAINST EGRESS	HC HOLLOW CORE
	SC SOLID CORE WOOD "LEGACY" DOOR TYPE
	GL GLASS
	WD WOOD
	INS INSULATED

TYRONE PARTY STORE
9485 CENTER ROAD
TYRONE TOWNSHIP, LIVINGSTON COUNTY, MI.

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ISSUED FOR	DATE
OWNER REVIEW	12/01/2022
PERMITS	DATE
T.T. REVIEW #1	02/14/2024

DRAWN : RHM
CHECKED : PGMc
SCALE : NONE
JOB NO : TE-22-168
SHEET TITLE :
SCHEDULES
SHEET
A-1.2



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EXTERIOR FINISH SCHEDULE - SOUTH ELEVATION
 SCALE: 3/16"=1'-0"

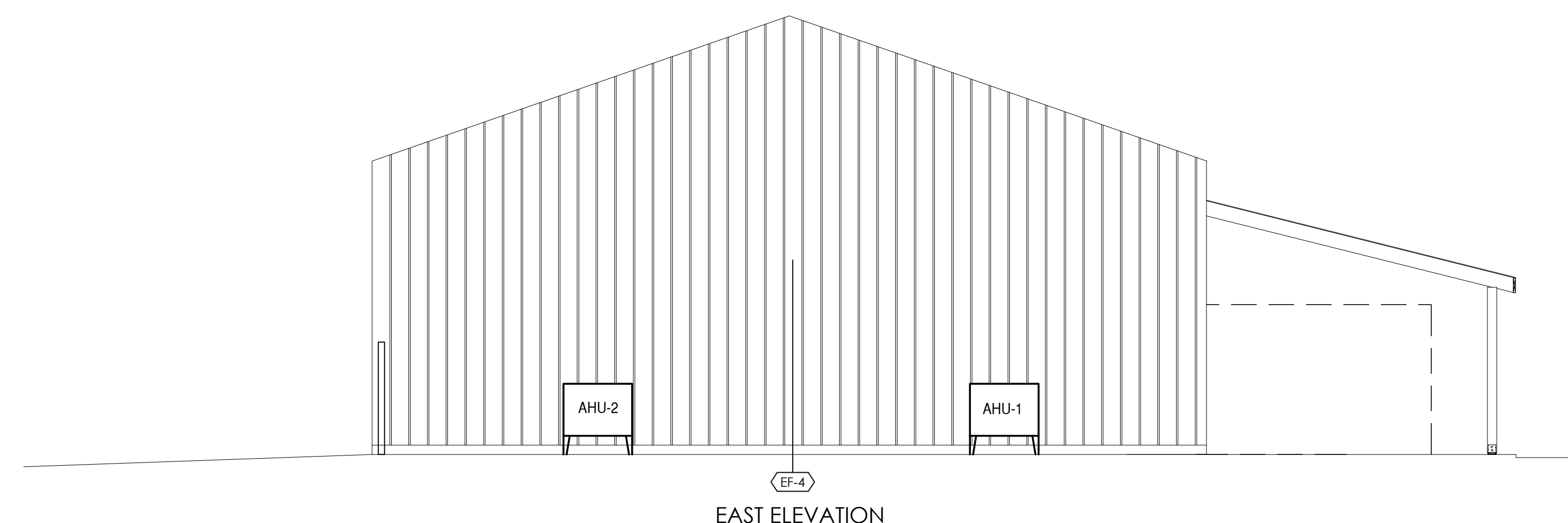
- EF-1 STONE VENEER, BY GENESSE CUT STONE
 STYLE - RIVER ROCK, LAKESHORE
 COLOR - EARTH TONES
 INSTALL PER MANUFACTURERS SPECIFICATIONS
- EF-2 HARDIE PLANK SIDING
 STYLE - PLANK
 COLOR - AUTUMN TAN
 INSTALL PER MANUFACTURERS SPECIFICATIONS
- EF-3 ASPHALT SHINGLES
 STYLE - MATCH EXISTING
 COLOR - MATCH EXISTING
- EF-4 EXISTING VERTICAL SEAM METAL SIDING
 STYLE - VERTICAL SEAM
 COLOR - TAN

- A** NOTE: INFILL MATERIALS
 1. METAL STUD - 600 S 137 43
 2. INSULATION - R-13
 3. DRYWALL - 5/8" DRYWALL

SPECIFICATION FOR PROPOSED DOUBLE DOOR

DOOR 01 & 02 SPECIFICATIONS - TYPE 'D'
 KAWNEER AA250 THERMAL NARROW STILE ENTRANCE DOORS WITH TRIFAB VG 451T CENTER DOOR FRAMES. KAWNEER CURTAIN WALL SYSTEMS ARE TO BE USED WITH DOORS.
 DOORS TO BE 2 1/2" VERTICAL FACE DIMENSION, 2 1/4" DEPTH, THICK, HIGH THERMAL PERFORMANCE, DUAL WELDED CORNER CONSTRUCTION, 1" INSULATED GLASS, SEALAIR BULB POLYMERIC WEATHERSTRIPPING AND PILE WEATHERING WITH POLYMERIC FIN IN DOOR FRAME.

STOREFRONT FRAMING
 STOREFRONT FRAMING TO BE TRIFAB VERSAGLAZE 451/451T FRAMING SYSTEM, PRE-GLAZED, 2" SIGHTLINE, 4 1/2" DEPTH, WITH HIGH THERMAL PERFORMANCE.



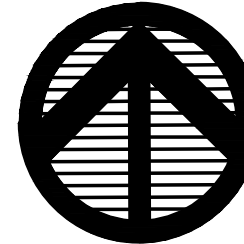
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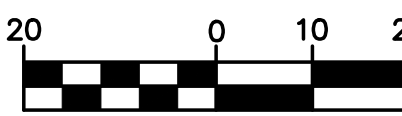
ISSUED FOR	DATE
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PERMITS	07/28/2023
T.T. REVIEW #1	02/14/2024

DRAWN : JDK
 CHECKED : JDK
 SCALE : 3/16" = 1'-0"
 JOB NO : TE-22-168
 SHEET TITLE :
EXTERIOR ELEVATIONS
 SHEET
A-1.3

NORTH



GRAPHIC SCALE



(IN FEET)

1 inch = 20 ft.

PROPERTY DESCRIPTION:

PARCEL NUMBER 4704-17-400-006, 9485 CENTER RD. WARRANTY DEED INSTR. #2012R-044520. THE FOLLOWING DESCRIBED PREMISES SITUATED IN TYRONE TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, TO WIT: COMMENCING AT THE SOUTHEAST CORNER OF SECTION 17, TOWN 4 NORTH, RANGE 6 EAST, TYRONE TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, THENCE NORTH 88 DEGREES 01 MINUTES 55 SECONDS WEST ALONG THE SECTION LINE 715.50 FEET TO A POINT OF BEGINNING, THENCE NORTH 24 DEGREES 09 MINUTES 57 SECONDS EAST 305.64 FEET; THENCE SOUTH 88 DEGREES 01 MINUTES 55 SECONDS EAST 250.00 FEET; THENCE SOUTH 24 DEGREES 09 MINUTES 57 SECONDS WEST 305.64 FEET TO THE SOUTH LINE OF SECTION 17; THENCE NORTH 88 DEGREES 01 MINUTES 55 SECONDS WEST 250.00 FEET TO THE POINT OF BEGINNING SUBJECT TO EASEMENT FOR HIGHWAY PURPOSES IN THE SOUTH 33 FEET OF SAID DESCRIPTION AND ALSO IN THAT PART OF SAID DESCRIPTION WHICH IS PART OF THE SOUTH 50 FEET OF THE EAST 585.5 FEET OF SECTION 17 AND ALSO ANY OTHER RESTRICTIONS AND EASEMENTS OF RECORD, EXCEPTING ALL OIL, GAS AND OTHER MINERAL RIGHTS;

SURVEY OF EXISTING CONDITIONS MARATHON GAS - TYRONE PARTY STORE 9485 CENTER ROAD, FENTON, MI 48430

BENCHMARK NO. 1

BOLT ON WEST SIDE OF POWER POLE, AT NORTHWEST CORNER OF OLD US 23 AND CENTER ROAD, AS SHOWN ELEVATION=1043.51 (NAVD88)

BENCHMARK NO. 2

'X' ON NORTH RIM OF SANITARY MANHOLE, ALONG NORTH SIDE OF CENTER ROAD AT SOUTHWEST CORNER OF PROPERTY, AS SHOWN ELEVATION=1044.15 (NAVD88)



TRIUMPH logo and contact information: Triumph Engineering & Design, Inc., 10775 S. SAGINAW ST., GRAND BLANC, MI 48439, (PH) 810.584.7364, (F) 810.584.7362, www.trumpheng.com

EXISTING ZONING INFORMATION:

ACCORDING TO THE CURRENT TYRONE TOWNSHIP ZONING ORDINANCE THIS PROPERTY IS CURRENTLY ZONED ES (EXPRESSWAY DISTRICT), AND IS SUBJECT TO THE FOLLOWING CONDITIONS:

- 1) MINIMUM SITE & LOT AREA = 1 ACRE
2) MINIMUM LOT WIDTH = 150 FEET
3) FRONT SETBACK = 100 FEET
4) SIDE SETBACK = 20 FEET
5) REAR SETBACK = 20 FEET
6) MAXIMUM BUILDING HEIGHT = 30 FEET
7) MAXIMUM BUILDING COVERAGE = 40%

FLOOD PLAIN NOTE:

THIS PROPERTY IS IN ZONE 'X' (AREAS OF MINIMAL FLOODING) OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 26093002250 WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 17, 2008 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

SURVEYOR NOTES:

- 1. DATE OF LAST FIELD WORK: MAY 27, 2022.
2. THE BEARINGS ARE RELATIVE TO THE SOUTH LINE OF SECTION 17, BEING N88°01'55"W.
3. THE VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).
4. THE CURRENT ZONING AS EVIDENCED BY TYRONE TOWNSHIP IS ES, EXPRESSWAY SERVICE DISTRICT.
5. PER OBSERVATION, THIS SITE IS EITHER CURRENTLY SUPPLIED BY OR HAS ACCESS TO THE FOLLOWING PUBLIC UTILITIES: GAS, ELECTRIC, AND TELEPHONE. EITHER LOCATED ADJACENT TO THE SUBJECT SITE OR WITHIN PUBLIC ROAD RIGHT-OF-WAY.
8. TOTAL PROPERTY AREA = 70,747 SFT or 1.62 ACRES

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS, IF AVAILABLE. THE SURVEYOR AND/OR ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND/OR ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR AND/OR ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



LEGEND table with symbols for SET IRON #55012, FOUND MONUMENTATION, SECTION CORNER, EX ROAD SIGNS, EX MAILBOX, EX UTILITY & LIGHT POLE, EX OVERHEAD POWERLINES, EX LIGHT POLE, EX PEDESTAL, EX BUILDING LINE, EX GAS LINE, EX GASMAIN MARKER/SIGN, EX GAS/ELEC METER, EX STORM SEWER, EX STORM MANHOLE, EX SANITARY MANHOLE/SIGNS, EX SANITARY BEMBR/OUT, EX LIDS, EX MONITORING WELL, EX CABLE MARKER/SIGN, EX SURFACE ELEVATION, EX CONTOUR ELEVATION, EX DECIDUOUS TREE, EX CONIFEROUS TREE, EX TREE LINE, CONCRETE, ASPHALT, RIGHT OF WAY, EDGE TO EDGE, EXISTING, FINISHED FLOOR ELEVATION, EX BUILDING AREA, EX ASPH AREAS, EX CONC AREAS



Know what's below. Call before you dig.

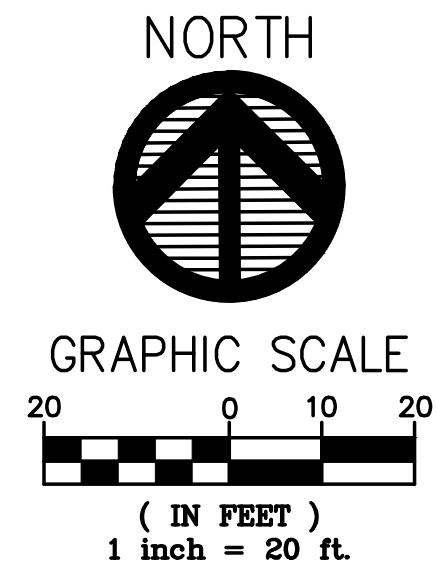
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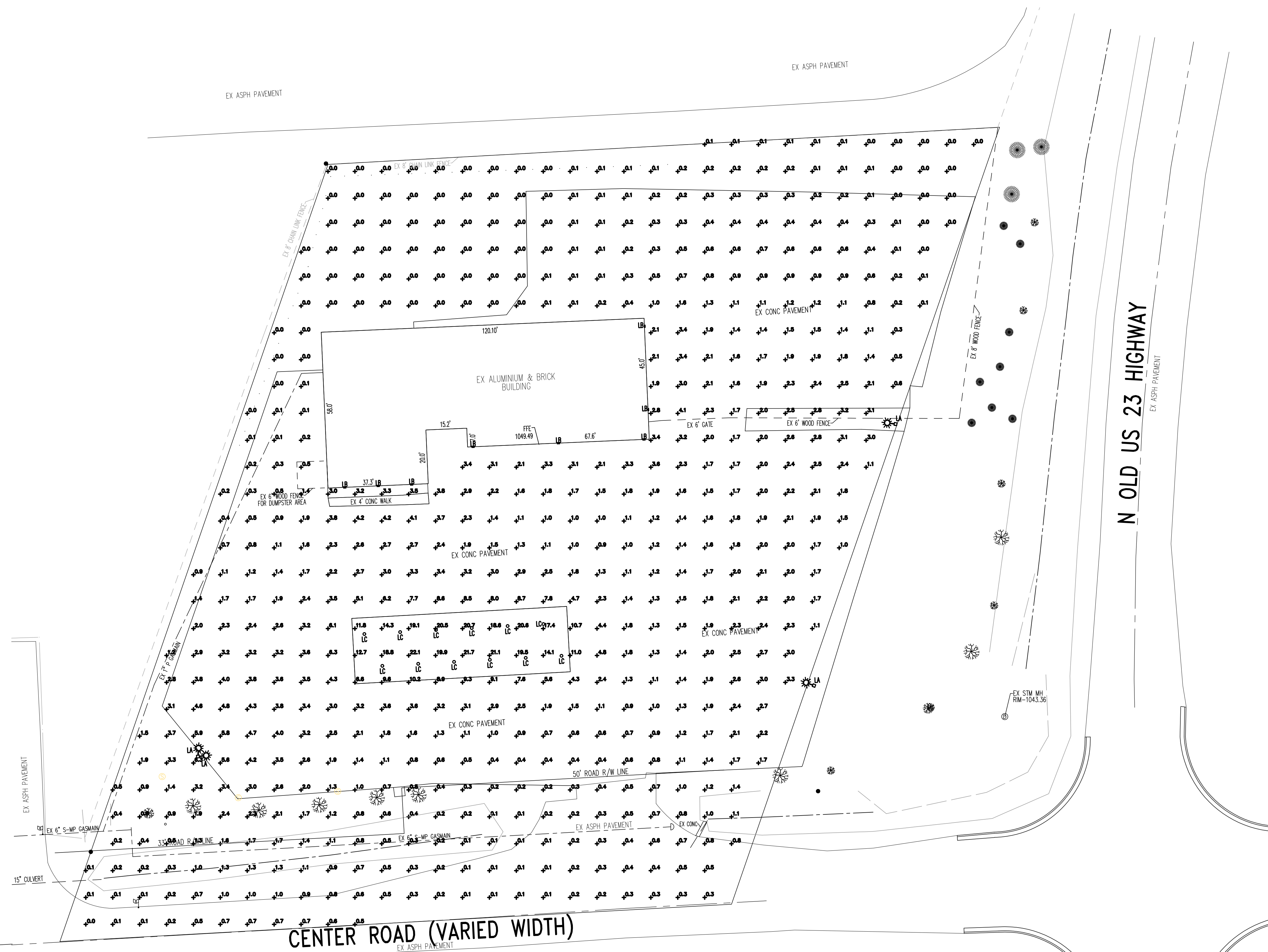
ISSUED FOR, OWNER REVIEW, PERMITS, T.T. REVIEW #1 table with dates

DRAWN, CHECKED, SCALE, JOB NO, SHEET TITLE table

SHEET C2.0



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AVERAGE	MAXIMUM	MINIMUM
1.9 FC	22. FC	0.0 FC

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SCALE	JOB NO - TE-22-168
SHEET TITLE PHOTOMETRIC PLAN	
SHEET C4.0	

SOUTH 1/4 CORNER
 SECTION 17, T4N-R6E,
 FND REMON

DEMOLITION NOTES

- CONTRACTORS SHALL READ ENTIRE SET AND REPORT ANY REQUEST FOR INFORMATION TO THE ARCHITECT FOR DESIGN CLARIFICATION. DIMENSIONS ARE TO BE VERIFIED BY CONTRACTOR IN FIELD. NOTIFY ARCHITECT FOR CLARIFICATION AS REQUIRED.
- ALL ADJOINING PUBLIC AND PRIVATE PROPERTY SHALL BE PROTECTED FROM DAMAGE CAUSED BY CONSTRUCTION.
- CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT SPACES. MAINTAIN PROTECTED EGRESS AND ACCESS AT ALL TIMES.
- PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES.
- DO NOT CLOSE OR OBSTRUCT EGRESS CORRIDORS.
- CEASE OPERATIONS AND NOTIFY OWNER/ARCHITECT IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE IN DANGER. DO NOT RESUME OPERATIONS UNTIL CORRECTIVE MEASURES HAVE BEEN TAKEN.
- ALL DEMOLISHED MATERIAL SHALL BE REMOVED BY THE CONTRACTOR FROM THE SITE AND DISPOSED OF IN A PROPER AND LEGAL MANNER. THE SELECTION OF THE DUMP SITE AND DISPOSITION OF MATERIAL IS THE RESPONSIBILITY OF THE CONTRACTOR.
- WORK IN THE AREA SHALL INCLUDE THE DISCONNECTION, REMOVAL, RELOCATION, AND RECONNECTION COMPLETE IN ALL RESPECTS OF ALL ITEMS SHOWN ON THE PLANS AND/OR OTHERWISE REQUIRED TO SUIT THE DESIGN INTENT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE PROJECT SITE TO CORRECTLY ASCERTAIN THE SCOPE OF SERVICES AND TO INCLUDE ALL PERTINENT COSTS IN THEIR BID.
- THE CONTRACTOR IS TO PROVIDE ALL TEMPORARY SHORING, BRACING, AND SUPPORT NECESSARY TO MAINTAIN EXISTING FLOOR AND ROOF ELEVATIONS DURING DEMOLITION.
- EXISTING SPACE THAT IS NOT IN CONTRACT SHALL REMAIN IN OPERATION. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS FOR UNINTERRUPTED OPERATION OF EXISTING BUSINESS IN BUILDING. NOTIFY ARCHITECT AND OWNER OF CONDITIONS THAT MAY RESTRICT BUSINESS OPERATION.

WOOD FRAMING

- DIMENSIONAL FRAMING MATERIAL SHALL BEAR THE GRADE MARK OF AN ALSC APPROVED AGENCY AND SHALL HAVE MET THE REQUIREMENTS FOR:
 - PLATES AND BLOCKING - HEM FIR NO. 2 OR BETTER
 - REFER TO PLANS FOR THE LOAD BEARING STUD WALL SPECIFICATIONS.
- ROOF SHEATHING AT THE SLOPED ROOF AREAS SHALL BE 1/2 INCH APA RATED WITH A PANEL SPAN RATING OF 32/16 AND SHALL BE EXTERIOR GRADE.
- NAIL ROOF DECK TO SUPPORTS WITH 8D NAILS SPACED AT 4 INCHES O.C. AT SUPPORTED EDGES AND AT 12 INCHES O.C. AT INTERMEDIATE SUPPORTS.
- ALL FRAMING SHALL BE ANCHORED TO SUPPORTS USING SIMPSON STRONG TIE CONNECTORS OR EQUAL. SEE DETAILS FOR SPECIFIC REQUIREMENTS.
- ALL NAILS FOR NAILING OF STRUCTURAL LUMBER SHALL BE COMMON NAILS. ALL NAILING SHALL COMPLY WITH THE RECOMMENDED NAILING SCHEDULE TABLE 1" OF "THE MANUAL OF HOUSE FRAMING" BY NFPA UNLESS NOTED OTHERWISE.
- ALL FRAMING SHALL BE ERECTED TRUE LEVEL AND/OR PLUMB. MEMBERS SHALL BE SECURELY NAILED OR BOLTED IN PLACE AS DETAILED AT THE PROPER LOCATIONS OR SPACING INDICATED. ALL FRAMING MEMBERS SHALL BE OF FULL LENGTH WITHOUT PIECES ADDED OR SPLICED. FURRING, BLOCKING, NAILERS, ETC. SHALL BE SECURELY ANCHORED IN PLACE.
- COMPLY WITH THE RECOMMENDATIONS AND PRACTICES OF THE AITC, NFPA AND TIP FOR THE INSTALLATION OF ALL WOOD FRAMING.
- ALL WOOD IN CONTACT WITH MASONRY OF CONCRETE SHALL BE TREATED.
- PROVIDE ONE TRIMMER AND END SUPPORTS AS SPECIFIED ON HEADER SCHEDULE AT THE END OF ALL HEADERS. PROVIDE FILL PATES AS NEEDED UNLESS NOTED OTHERWISE. IN EXTERIOR WALLS, PROVIDE ONE FULL HEIGHT STUD TRIMMER FOR EACH 3'-0" OF WIDTH AT EACH END. SUFFICIENTLY ANCHOR ALL BEAMS AT EACH BEARING END.
- LVL ON PLAN INDICATES THE LOCATIONS OF PRE MANUFACTURED LAMINATED VENEER LUMBER BEAM AS MANUFACTURED BY "TRUSS JOIST MACMILLAN CORPORATION" OR AN APPROVED EQUIVALENT. BEAM SHALL HAVE THE FOLLOWING ALLOWABLE STRESS VALUES:

E=	1,800,000	PSI
G=	118,750	PSI
Fb=	2,400	PSI
Fc=	750	PSI (PERPENDICULAR)
Fc=	2,510	PSI (PARALLEL)
Fv=	285	PSI

- WHERE (2) OR MORE UNITS OF STANDARD LUMBER ARE TO BE USED AS A HEADER, EACH PLY SHALL BE NAILED TOGETHER WITH (2) ROWS OF 16D NAILS AT 12" O.C.
- PROVIDE JOIST HANGERS FOR ALL BEAMS AND JOISTS WHICH FRAME INTO THE SIDE OF GIRDERS. HANGERS SHALL HAVE A MINIMUM VERTICAL SHEAR CAPACITY OF V (LB.) = 100 x SPAN (FT.) / 2
- ALL WOOD PROVIDED SHALL BE SEASONED WITH MAXIMUM MOISTURE CONTENT OF 19% AT THE TIME OF DRESSING

WOOD TRUSSES

- ALL WOOD TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING LOADS:

TOP CHORD DEAD LOAD	10 PSF + WEIGHT OF TRUSS + WEIGHT OF HVAC UNITS
BOTTOM CORD DEAD LOAD	10 PSF + WEIGHT OF TRUSS
TOP CHORD LIVE LOAD	20 PSF - SEE GENERAL NOTES FOR SNOW LOAD
- THE EXTENT OF ROOF TRUSSES SHOWN ON THE PLANS IS FOR REFERENCE ONLY. THE FABRICATOR SHALL VERIFY ALL DIMENSIONS, TRUSS LAYOUT, CONFIGURATIONS, NUMBER OF EACH TYPE OF TRUSS REQUIRED, LOADING AND DETAILS.
- WOOD TRUSSES SHALL BE DESIGNED, FABRICATED AND INSTALLED PER TRUSS PLATE INSTITUTE, INC. SPECIFICATIONS AND NFPA NATIONAL, INC. SPECIFICATIONS AND NFPA NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION.
- ALL TRUSSES SHALL BE ANCHORED TO SUPPORTS AND INDICATED AN IF NOT INDICATED, PER MANUFACTURERS RECOMMENDATIONS.
- DEFLECTION OF TRUSSES SHALL BE LIMITED TO MAXIMUM LIVE LOAD DEFLECTION OF SPAN/360.
- SUBMITTALS:
 - SHOP DRAWINGS SHOWING SIZES, DESIGN VALUES, MATERIALS, AND DIMENSIONAL RELATIONSHIPS OF COMPONENTS AS WELL AS BEARING AND ANCHORAGE DETAILS. TO EXTEND ENGINEERING DESIGN CONSIDERATIONS ARE FABRICATOR'S RESPONSIBILITY. SUBMIT DESIGN ANALYSIS AND TEST REPORTS INDICATING TRUSS PERFORMANCE CHARACTERISTICS COMPLY WITH REQUIREMENTS. CALCULATIONS AND SUBMITTALS OF REQUIRED CONNECTORS TO CONNECT TRUSSES TO GIRDER TRUSSES.
 - PROVIDE SHOP DRAWINGS WHICH HAVE BEEN SIGNED AND STAMPED BY AN ENGINEER LICENSED TO PRACTICE IN THE STATE OF MICHIGAN.
 - DESIGN AND SPECIFICATION OF TEMPORARY AND PERMANENT WOOD TRUSS BRACING BY TRUSS MANUFACTURER AND SHOWN ON SHOP DRAWINGS. TRUSS INSTALLER SHALL PROVIDE AND INSTALL BRACING PER SHOP DRAWINGS.

METAL DECK AND FORM

- METAL DECK AND FORM SHALL CONFORM TO ALL PROVISIONS OF THE "CODE OF RECOMMENDED STANDARD PRACTICE FOR COMPOSITE DECK, FORM DECK AND ROOF DECK CONSTRUCTION" AS ADOPTED BY THE STEEL DECK INSTITUTE.
- METAL DECK AND FORM DECK SHALL BE PROVIDED WITH NESTING SIDE SEAMS OF DEPTH AND GAUGE AS INDICATED ON THE DRAWINGS. METAL ROOF DECK SHALL BE WIDE RIB TYPE "B". PROVIDE DECK MANUFACTURERS STANDARD ROOF SUMP PANS FOR EACH ROOF SUMP LOCATION.
- METAL DECK AND FORM IS DESIGNED TO ACT AS A DIAPHRAGM. AND IS INTENDED TO BRACE THE BUILDING. EXTREME CARE SHOULD BE UTILIZED TO INSTALL DECK AND FORM CONNECTIONS.

MASONRY

- THE MASONRY PORTIONS OF THIS STRUCTURE ARE DESIGNED ACCORDING TO THE LATEST WORKING STRESS DESIGN PROVISIONS OF THE MASONRY STANDARDS JOINT COMMITTEE (MSJC) BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530/ASCE 5/TMS 402) AND SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530.1/ASCE 6/TMS 402) INCLUDING (ACI 530.1/ASCE 6/TMS 402) INCLUDING SECTIONS 2106 AND 2107 OF CHAPTER 21 IN THE MICHIGAN BUILDING CODE MASONRY COMPONENTS HAVE BEEN DESIGNED ACCORDING TO THE PROVISIONS FOR SEISMIC DESIGN CATEGORY B.
- ALL STRUCTURAL MASONRY IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST MASONRY STANDARDS JOINT COMMITTEE (MSJC) BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530/ASCE 5/TMS 402) AND SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530.1/ASCE 6/TMS 402). MASONRY SUBMITTALS ARE REQUIRED BY ACI 530.1/ASCE 6/TMS 402 SECTION 1.5. MASONRY TESTING AND INSPECTIONS ARE REQUIRED BY ACI 530.1/ASCE 6/TMS 402 SECTION 1.6, TABLE 5, LEVEL 2 QUALITY ASSURANCE.
- ALL STRUCTURAL MASONRY HAS BEEN ENGINEERED IN ACCORDANCE WITH CHAPTER 2. ALLOWABLE STRENGTH DESIGN. COMPRESSION STRENGTH SHALL BE DETERMINED ACCORDING TO THE UNIT STRENGTH METHOD FOR CONCRETE MASONRY MSJC SECTION 1.4.B.2.b.
- ALL BLOCK SHALL CONFORM TO ASTM C 90 AND C 140, TYPE 1, GRADE N.
- MORTAR SHALL CONFORM TO ASTM C 90 AND C 140, TYPE 1, GRADE N IN CONTACT WITH EARTH-TYPE M OR S TYPE M OR S = 1900 PSI REINFORCED-TYPE S TYPE N = 2150 PSI NOT IN CONTACT WITH EARTH-TYPE N, M OR S
- GROUT SHALL CONFORM TO ASTM C 476, WITH PEA GRAVEL AGGREGATE AND MINIMUM STRENGTH OF 2000 PSI.
- MINIMUM MASONRY COMPRESSIVE STRENGTH SHALL BE Fm = 1500 PSI.
- ALL STRUCTURAL MASONRY SHALL COURSE IN STANDARD RUNNING BOND, UNLESS NOTED OTHERWISE. ALL INTERSECTING BEARING WALLS, SHEAR WALLS OR OTHER STRUCTURAL WALLS SHALL BE LAID UP IN INTERLOCKED, BONDED COURSING. MECHANICAL ANCHORS OR WALL TIES MAY BE SUBSTITUTED WITH PRIOR APPROVAL BY THE ENGINEER.
- PROVIDE HORIZONTAL WIRE TYPE REINFORCING WITH 9 GAUGE SIDE RODS AND 9 GAUGE CROSS RODS IN EVERY SECOND COURSE (16" O.C.), IN ALL MASONRY WALLS. SPACE AT 8" O.C. AT PARAPET WALLS. PROVIDE "LADDER" TYPE REINFORCING ONLY IN WALLS WITH VERTICAL REINFORCING. PROVIDE ADJUSTABLE TIES AT ALL LINTELS AND CAVITY WALLS AT 18" O.C. MAXIMUM SPACING.
- PROVIDE 1-#5 VERTICAL BAR EACH SIDE OF EACH CONTROL JOINT; SEE PLANS FOR ADDITIONAL REINFORCING AT CORNERS, OPENINGS, ETC.
- ALL REINFORCING BARS, DOWELS AND TIES SHALL CONFORM TO ASTM A615, GRADE 60. VERTICAL REINFORCING BARS SHALL BE HELD IN PLACE BY POSITIONERS SPACED NOT FURTHER THAN RECOMMENDED BY CODE.
- PROVIDE A CONTINUOUS BOND BEAM, WITH 2-#5s; AT TOP OF WALLS PARALLEL WITH ROOF/FLOOR FRAMING. SEEP BOND BEAMS ELEVATIONS AS REQUIRED. LAP MINIMUM 32".
- PERFORM GROUTING ACCORDING TO THE FOLLOWING:
 - ALL MASONRY BELOW GRADE SHALL BE GROUTED SOLID
 - ALL CORES WITH VERTICAL REINFORCING OR TO RECEIVE DRILLED IN ANCHORS SHALL BE GROUTED SOLID
 - ALL MASONRY PIERS AND PILASTERS SHALL BE GROUTED SOLID
 - MAXIMUM 4'-0" HIGH LIFTS
- ALL BEAMS SUPPORTING MASONRY, INCLUDING STEEL, PRECAST AND MASONRY LINTELS ARE TO BEAR 8" MIN. ON 3 COURSES OF SOLID MASONRY.
- STRUCTURAL STEEL BEAMS, WIDE FLANGE AND TUBE STEEL LINTELS, REFER TO LINTEL SCHEDULE FOR SIZE AND ADDL INFORMATION.
- UNLESS NOTED OTHERWISE, PROVIDE LOOSE LINTELS AT MISCELLANEOUS ARCHITECTURAL, MECHANICAL AND ELECTRICAL OPENINGS FOR EACH 4" OF MASONRY WALL THICKNESS IN ACCORDANCE WITH THE FOLLOWING:
 - L4x3 1/2x5/16 LLV FOR SPANS UP TO 3'-4"
 - L5x3 1/2x5/16 LLV FOR SPANS UP TO 5'-4"
 - L6x3 1/2x5/16 LLV FOR SPANS UP TO 6'-8" MAX.

AT CONTRACTORS OPTION, MASONRY LINTELS ARE ALSO ACCEPTABLE FOR MISCELLANEOUS OPENINGS:

- 8"W (OR 12"W) x8H REINF. w/2-#5 FOR SPANS UP TO 3'-4"
- 8"W (OR 12"W) x8H REINF. w/2-#6 FOR SPANS UP TO 5'-4"
- 8"W (OR 12"W) x16H REINF w/2-#6 FOR SPANS UP TO 6'-8" MAX.

COORDINATE REQUIREMENTS FOR LOOSE LINTELS WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.

- ALL DOUBLE ANGLE LINTELS SHALL BE WELDED BACK TO BACK WITH A MINIMUM 2 INCH STITCH WELD EVERY 8 INCHES.

GENERAL NOTES

GENERAL CONDITIONS

- IF ANY GENERAL NOTE CONFLICTS WITH ANY DETAIL OR NOTE ON THE PLANS OR IN THE SPECIFICATIONS, THE STRICTEST PROVISION SHALL GOVERN.
- THE STRUCTURAL DRAWINGS ARE FOR THE PLACEMENT AND SIZE OF STRUCTURAL COMPONENTS ONLY. REQUIREMENTS MADE BY OSHA, DNR, AND ALL APPLICABLE SAFETY CODES ARE TO BE DETERMINED AND PROVIDED BY THE CONTRACTOR.
- THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER IT IS FULLY COMPLETED ACCORDING TO THE PLANS AND SPECIFICATIONS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE CONSTRUCTION/ERECTION PROCEDURE AND SEQUENCE, AND TO ENSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING CONSTRUCTION. THIS INCLUDES PROVIDING TEMPORARY BRACING, SHORING GUYS OR TIE-DOWNS. THESE TEMPORARY SUPPORTS SHALL REMAIN IN PLACE UNTIL ALL STRUCTURAL COMPONENTS ARE IN PLACE AND COMPLETED AS THE STRUCTURAL MEMBERS OR SYSTEMS ARE NOT SELF-BRACING UNTIL PERMANENTLY CONNECTED TO THE STRUCTURE.
- THE ARCHITECT AND STRUCTURAL ENGINEER ASSUME NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION, AS SUCH, THE MEANS AND METHODS OF CONSTRUCTION ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S).
- USE OF ENGINEERING DRAWINGS AS ERECTION DRAWINGS BY THE CONTRACTOR IS EXPRESSLY PROHIBITED.
- DESIGN LOADS: IBC 2015:ASCE 7-10
 - ROOF DEAD LOAD=15 PSF
 - ROOF LIVE LOAD=25 PSF
 - GROUND SNOW LOAD=25 PSF
 - WIND = PER ASCE 7-10 WITH BASIC WIND SPEED = 115 MPH
 - SEISMIC = PER ASCE 7-16 WITH Sds = 0.092, Sd1 = 0.070
- REQUIRED INSPECTIONS
 - COORDINATE CONSTRUCTION SCHEDULE WITH OWNERS QUALITY INSPECTOR WITH ADEQUATE NOTICE PROVIDED IN ORDER TO ALLOW THE FOLLOWING INSPECTIONS. SEE PROJECT MANUAL AND REFERENCED CODES FOR SPECIFIC INSPECTION AND TESTING REQUIREMENTS.

FOUNDATIONS

- FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED SOIL WITH AN ASSUMED SAFE BEARING CAPACITY OF 3000 PSF. CONTRACTOR SHALL RETAIN A QUALIFIED SOILS ENGINEER TO PERFORM EXPLORATION SUFFICIENT TO CONFIRM THIS CAPACITY PRIOR TO COMMENCEMENT OF FOUNDATION EXCAVATIONS. ACCEPTABLE SETTLEMENT LIMITS = 1 INCH OVERALL AND 1/2 INCH DIFFERENTIAL. IF SOIL OF THIS CAPACITY IS NOT FOUND AT THE ELEVATIONS INDICATED, FOOTINGS SHALL BE ENLARGED OR LOWERED AT THE DIRECTION OF THE ENGINEER. ALLOWABLE SOIL BEARING PRESSURE SHALL BE CONFIRMED IN THE FIELD BY A QUALIFIED SOILS ENGINEER.

UNLESS OTHERWISE NOTED OR DETAILED, ALL FOUNDATIONS SHALL BE LOCATED SUCH THAT THE CENTERLINE OF FOOTING IS ALSO THE CENTERLINE OF COLUMN.

- PREPARATION OF THE SITE, BUILDING FOOTPRINT AND SLAB SUB-BASE SHALL PROCEED IN COMPLIANCE WITH LOCAL CODES AND THE PROJECT SOILS REPORT IDENTIFIED ABOVE, UNLESS OTHERWISE NOTED OR SPECIFIED. ALL FILL UNDER FLOOR SLABS AND BEHIND FOUNDATION WALLS SHALL BE COMPACTED WITH VIBRATORS, COMPACTORS, ETC. TO 95% MAXIMUM DENSITY (MODIFIED PROCTOR) AT OPTIMUM MOISTURE CONTENT. ONLY SMALL HAND OPERATED COMPACTION EQUIPMENT SHALL BE ALLOWED WITHIN 8 FEET OF BASEMENT WALLS.

PROVIDE NECESSARY SHEETING, SHORING, FORMING OR BRACING, ETC., DURING EXCAVATION AS REQUIRED TO PROTECT SIDES OF EXCAVATIONS OR AS REQUIRED TO COMPLY WITH SAFETY REGULATIONS.

- THIS TRADE SHALL PROVIDE PUMPS, WELL POINTS, OR OTHER SYSTEMS AS REQUIRED BY THE CONDITIONS IDENTIFIED IN THE PROJECT SOILS REPORT. PUMPS SHALL BE OPERATED AS REQUIRED TO ACCOMPLISH THE ABOVE. ON A 24 HOUR BASIS, IF NECESSARY, UNDER NO CONDITION SHALL WATER BE ALLOWED TO WASH OVER FRESHLY PLACED CONCRETE.

ALL BOTTOM OF FOOTING TRANSITIONS SHALL BE MADE USING STEPS AS SHOWN IN THE TYPICAL DETAILS. WHERE NEW FOOTINGS ABUT EXISTING FOUNDATIONS, CAREFULLY HAND EXCAVATE AND PLACE BOTTOM OF NEW FOOTING AT THE SAME ELEVATION AS THE EXISTING.

CONCRETE

- THE CONCRETE PORTIONS OF THE STRUCTURE ARE DESIGNED ACCORDING TO THE LATEST ULTIMATE STRENGTH DESIGN PROVISIONS OF THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE AND COMMENTARY (ACI 318) INCLUDING SECTIONS 1902 THRU 1907 OF CHAPTER 19 IN THE MICHIGAN BUILDING CODE. CONCRETE COMPONENTS HAVE BEEN DESIGNED ACCORDING TO THE PROVISIONS FOR SEISMIC DESIGN CATEGORY B.
- ALL CONCRETE SHALL BE NORMAL WEIGHT (150 PCF), EXCEPT SUPPORTED SLABS WHICH SHALL BE LIGHT WEIGHT (110 PCF). MINIMUM CONCRETE STRENGTH SHALL BE Fc = 3000 PSI MIN. AT 28 DAYS. UNLESS NOTED OTHERWISE; SUPPORTED SLABS AND SLABS ON GRADE SHALL BE Fc = 3500 PSI MIN. UNLESS NOTED OTHERWISE. PROVIDE Fc = 4000 PSI WITH 6% ± 1% ENTRAINED AIR WHERE CONCRETE IS EXPOSED TO EXTERIOR ATMOSPHERE OR WEATHER.
- ALL CONCRETE SHALL BE PORTLAND CEMENT CONFORMING TO ASTM C150. AGGREGATE SHALL CONFORM TO ASTM C33.
- CONCRETE ADMIXTURES SHALL BE USED TO FACILITATE CONCRETE PLACEMENT, AID DIFFICULT PLACING CONDITIONS OR ASSIST IN ATTAINING SPECIFIED CONCRETE QUALITIES. ADMIXES SHALL HAVE LESS THAN 0.05% CHLORIDE IONS.
 - AIR ENTRAINMENT PER ASTM C260
 - WATER REDUCER PER ASTM C494, TYPE A
 - WATER REDUCER/ACCELERATOR PER ASTM C494, TYPE C OR E
 - WATER REDUCER/RETARDER PER ASTM C494, TYPE B OR D
 - SUPERPLASTICIZER PER ASTM C494, TYPE F OR G

- CONCRETE MIXES SHALL BE PROPORTIONED PER SECTION 3.9 OF ACI-301. CERTIFIED HISTORICAL TEST DATA SHALL SERVE AS A BASIS FOR EACH MIX DESIGN. DEVIATIONS SHALL BE SUBSTANTIATED WITH ADDITIONAL CERTIFIED TRIAL MIX TESTING AND RESULTS. SUBMIT MIX DESIGN HISTORICAL TEST DATA OR TRIAL MIX RESULTS FOR APPROVAL PRIOR TO PROCEEDING WITH THE WORK. WHERE HISTORICAL TEST DATA IS NON-EXISTENT THE FOLLOWING GUIDELINES SHALL APPLY:

	COMPRESSIVE STRENGTH, Fc	CEMENT CONTENT	WATER/CEMENT RATIO	
TYPE	(28 DAY, PSI)	(LBS./C.Y.)	(BY WEIGHT)	(SLUMP)
STANDARD, NORMAL WT.	3000 MIN.	470 MIN.	0.52 MIN.	4" MAX.
STANDARD, NORMAL WT.	3500 MIN.	517 MIN.	0.05 MAX.	4" MAX.
STANDARD, LIGHT WT.	3500 MIN.	564 MIN.	0.44 MAX.	SEE SPEC.
AIR ENTRAINED, NORM. WT.	4000 MIN.	564 MIN.	0.40 MAX.	4" MAX.

- ALL CONCRETE WORK AND PLACEMENT SHALL CONFORM TO THE LATEST ACI STANDARDS AND RECOMMENDATIONS. FREE FALL SHALL NOT EXCEED 10 FEET FOR ALL CONCRETE CONTAINING HIGH-RANGE WATER REDUCER (SUPERPLASTICIZER) AND 5 FEET FOR ALL OTHER CONCRETE. PROVIDE ELEPHANT TRUNK, TREMES OR OTHER PLACING EQUIPMENT OR OPENINGS IN SIDES OF FORMS AS REQUIRED TO LIMIT FREE FALL.
- ALL REINFORCING BARS, DOWELS AND TIES SHALL CONFORM TO ASTM A615, GRADE 60. ALL REINFORCING STEEL SHALL BE CONTINUOUS AND SHALL 3/8 BAR DIAMETER LAP MINIMUM AND SHALL BE FABRICATED AND PLACED IN ACCORDANCE WITH ACI 315 AND ACI 318, LATEST EDITION. HOOK ALL BEAM BARS AT DISCONTINUOUS ENDS.
- ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 FURNISHED IN FLAT MATS OR SHEETS, NOT IN ROLLS. PROVIDE MINIMUM 6" LAP BETWEEN SHEETS. ALL SLAB REINFORCING SHALL BE SUPPORTED ON SAND CHAIRS.
- ALL EXPOSED CONCRETE CORNERS AND EDGES SHALL BE CHAMFERED 3/4".



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8/7/23

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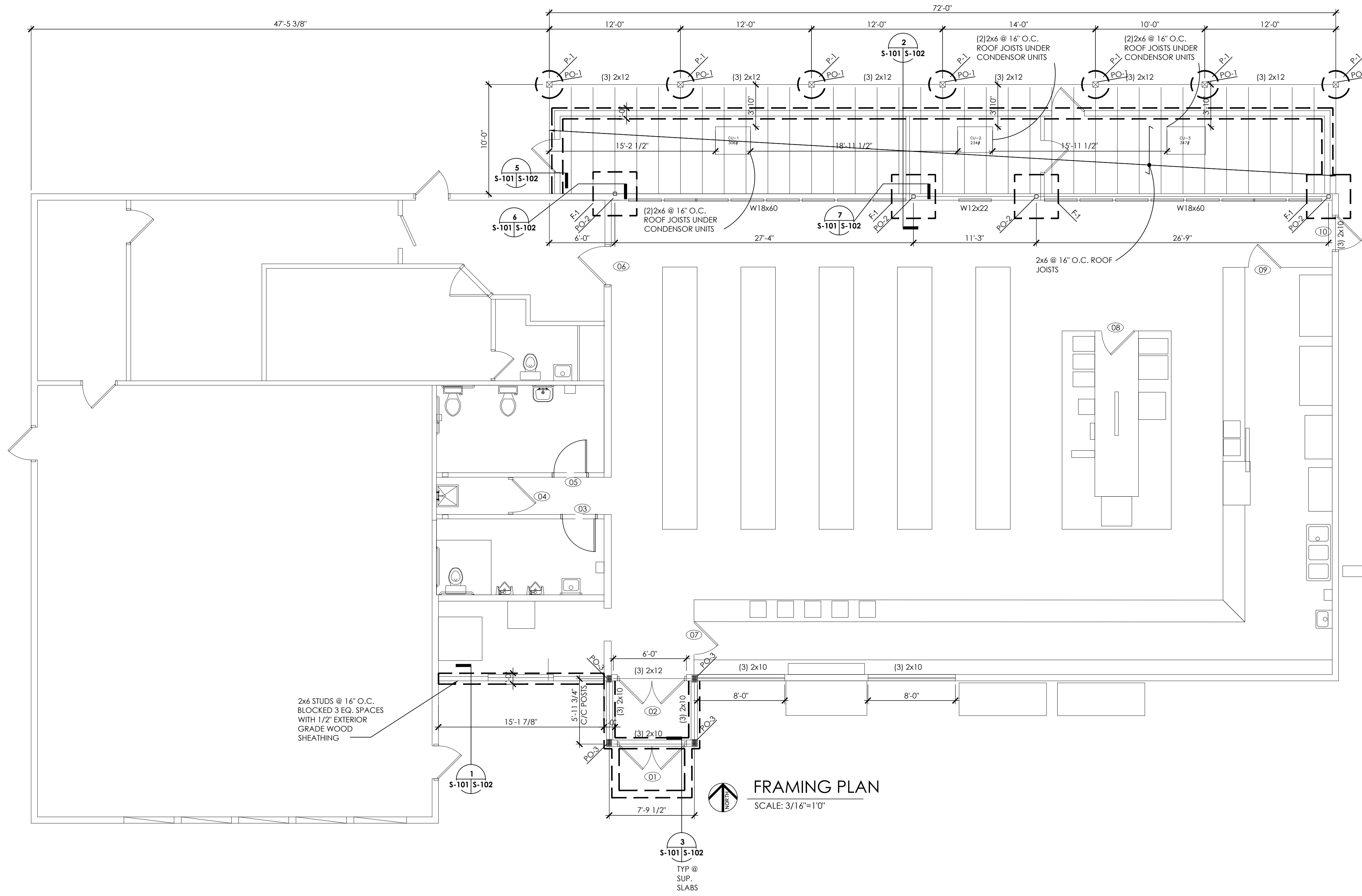
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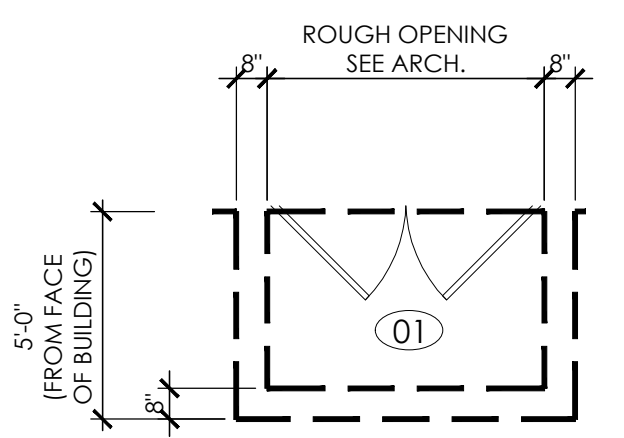
SHEET TITLE : STRUCTURAL NOTES

SHEET

S-100



FRAMING PLAN
SCALE: 3/16"=1'0"



TYPICAL ENLARGED STOOP PLAN
SCALE: 1/4" = 1'-0"

FOOTING SCHEDULE		ASSUMED ALLOWABLE SOIL PRESSURE = 3000 PSF	
F-1	MARK		
4'-0"x4'-0"	SIZE		
42"	THICKNESS		
7-#7 E.W. BOTT	REINF		
WITH HOOKS	REMARKS		

POST SCHEDULE		ALL WOOD COLUMNS SPF #2		
PO-3	PO-2	PO-1	MARK	
(5) 2x6 WOOD	HSS5x5x1/4	6x6 WOOD	SIZE	
	PL 1/2"x11"x0'-11"	SIMPSON ABLU66Z POST BASE	BASE PLATE	
EL=100'-2"	EL=99'-5"	EL=100'-2"	B.O. BASE PL.	
	3/4"Øx0'-9" LG	PER MANUF. SPECS.	ANCHOR BOLTS	
	6" EMBED MIN.	PRESSURE TREATED	REMARKS	

PIER SCHEDULE		
P-1	MARK	
30"x30"	SIZE	
100'-2"	TOP OF PIER	
(6) #5 VERT. #4 TIES @ 12" O.C.	REINF.	
	REMARKS	

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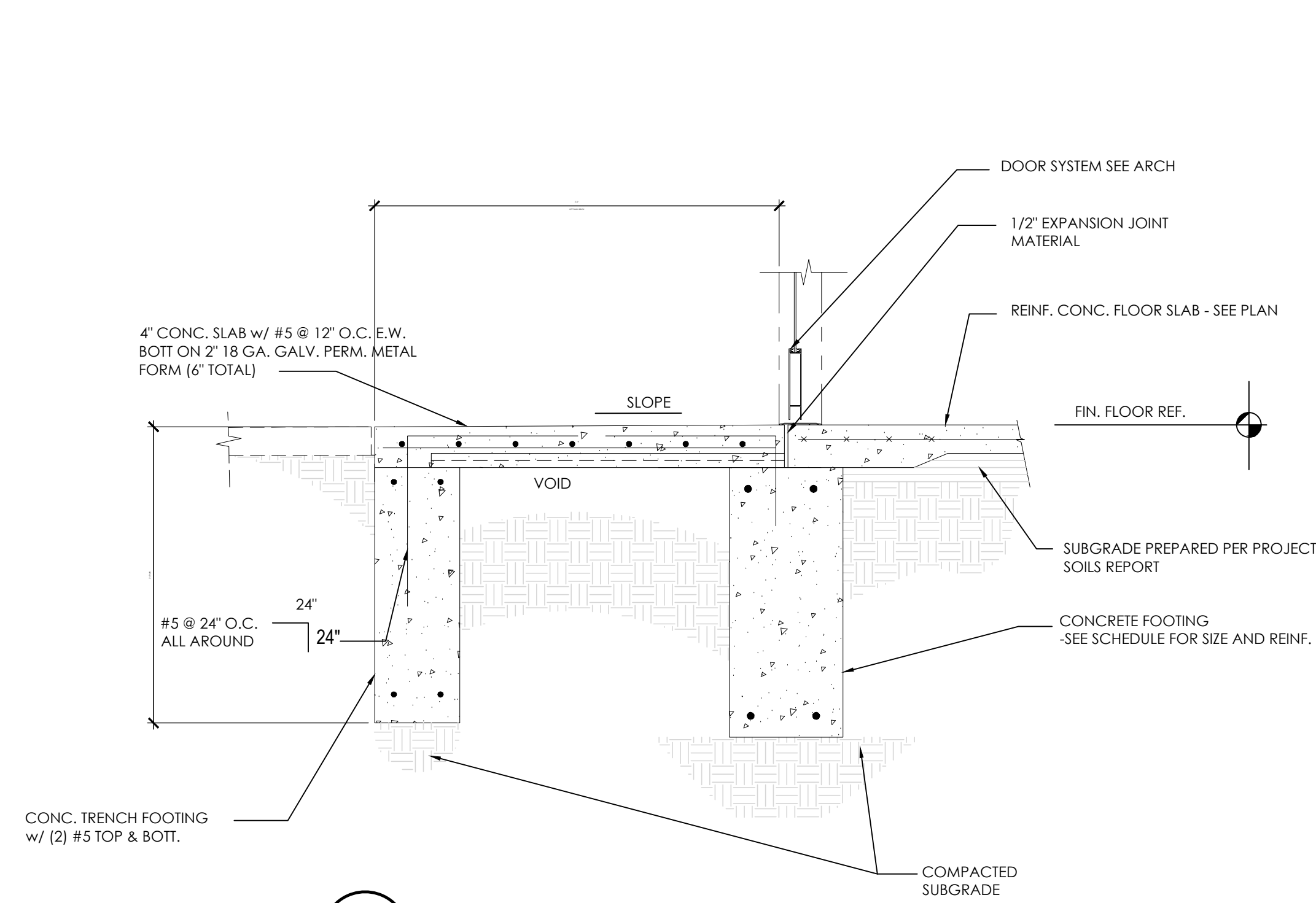


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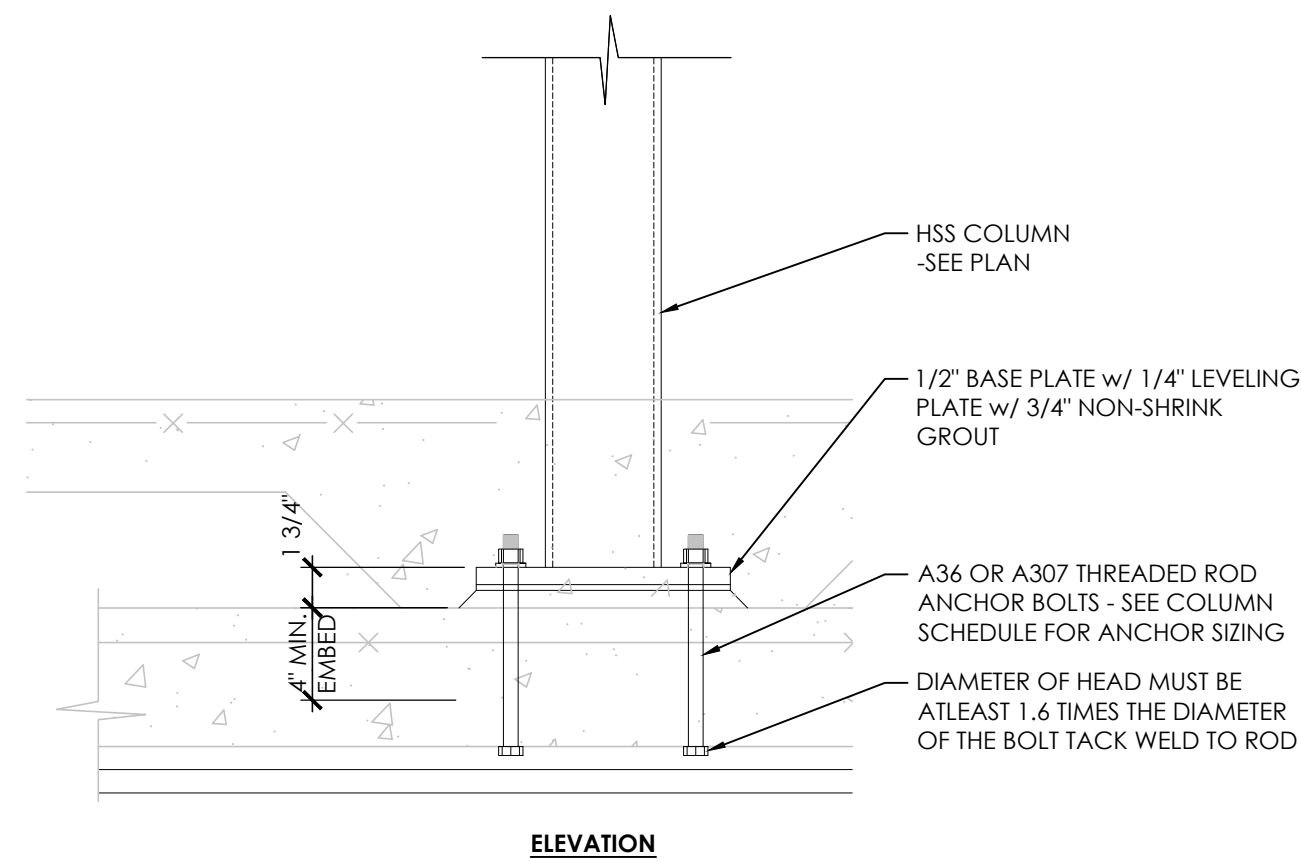
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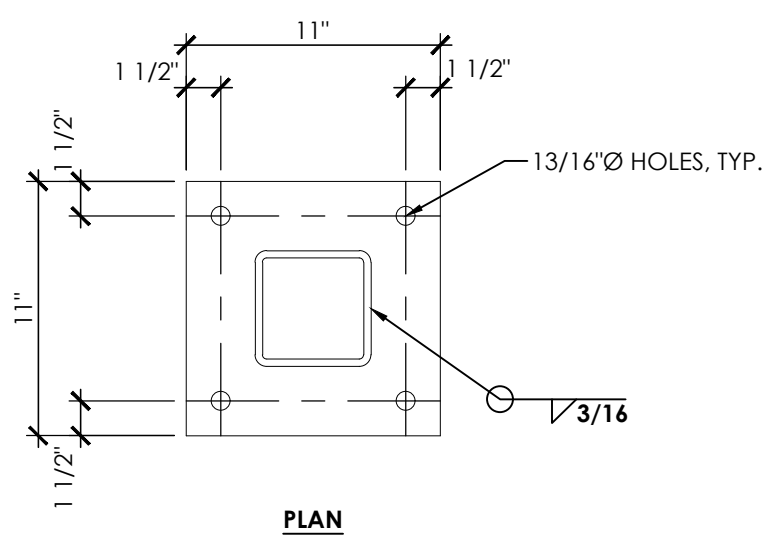
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SCALE - 3/16" = 1'-0"
JOB NO - TE-22-168
SHEET TITLE -
STRUCTURAL FRAMING PLAN
SHEET
S-101



3 TYP. SUPPORTED SLAB DETAIL
 S-101 S-102 3/4" = 1'-0"

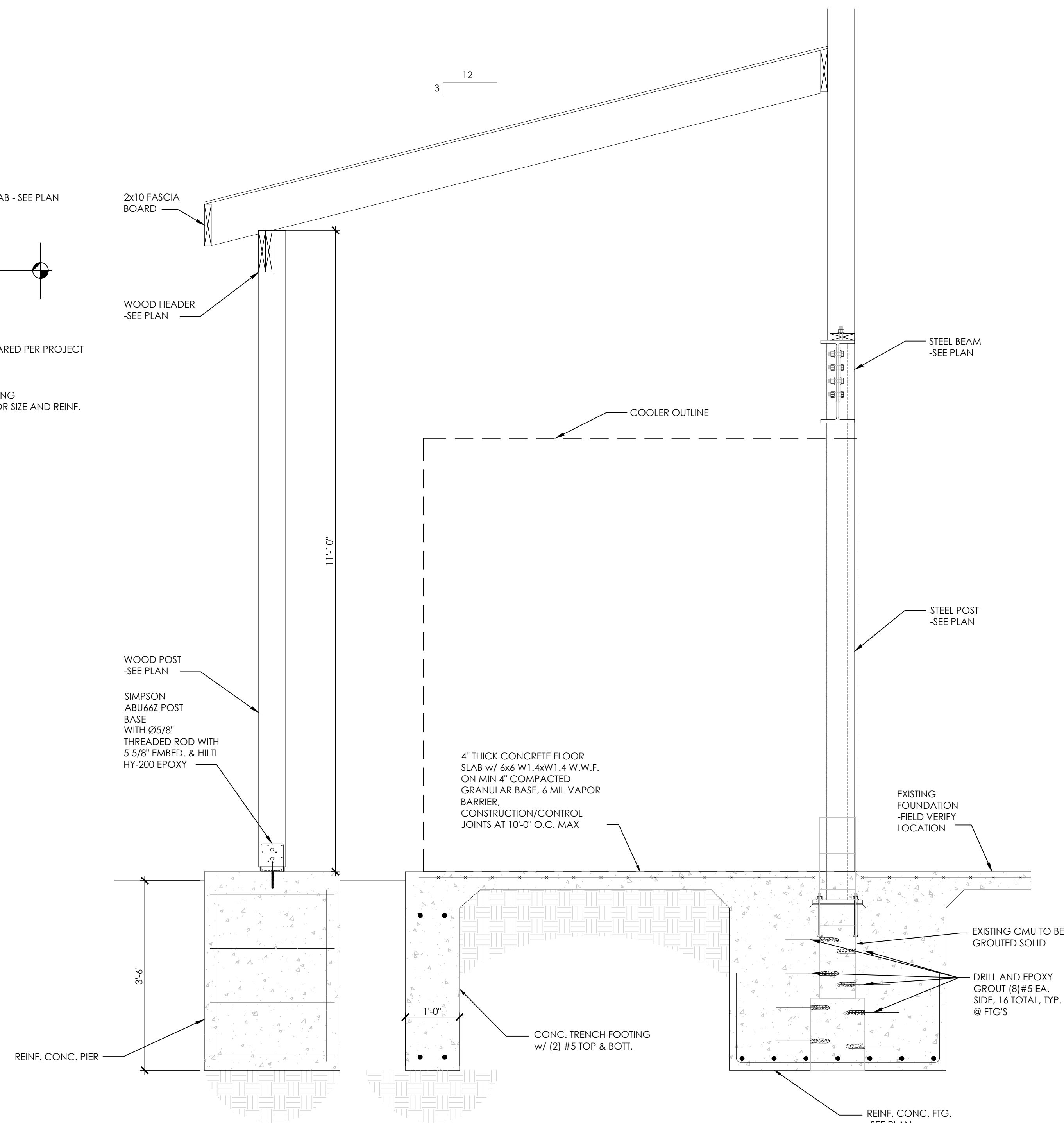


ELEVATION

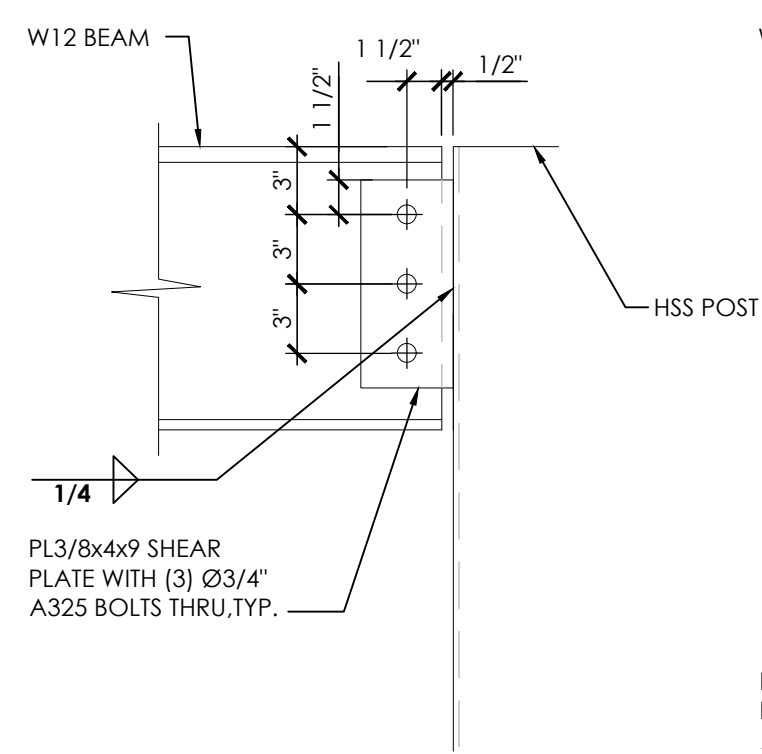


PLAN

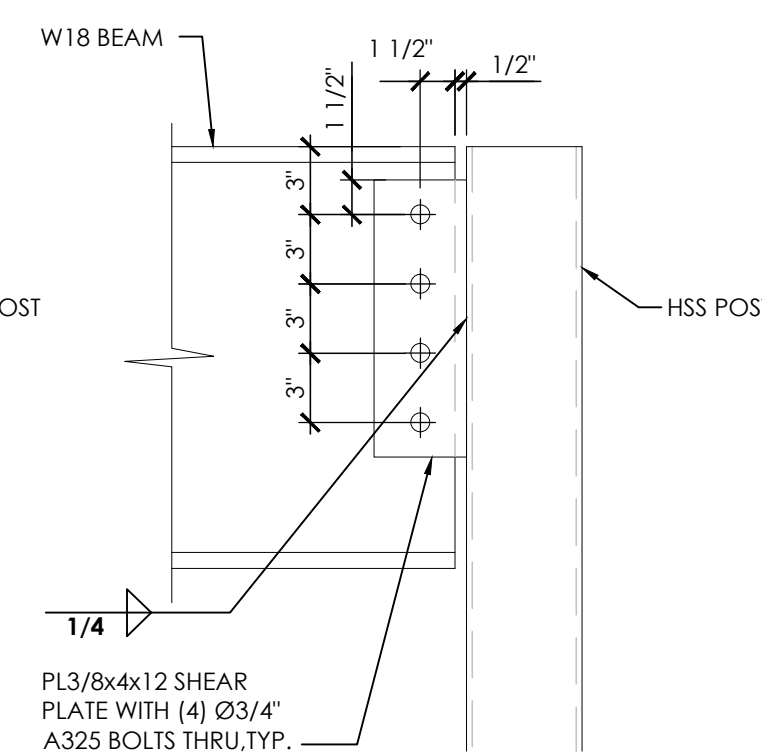
4 TYPICAL HSS5X5 BASE PLATE DETAIL
 S-102 S-102 1 1/2" = 1'-0"



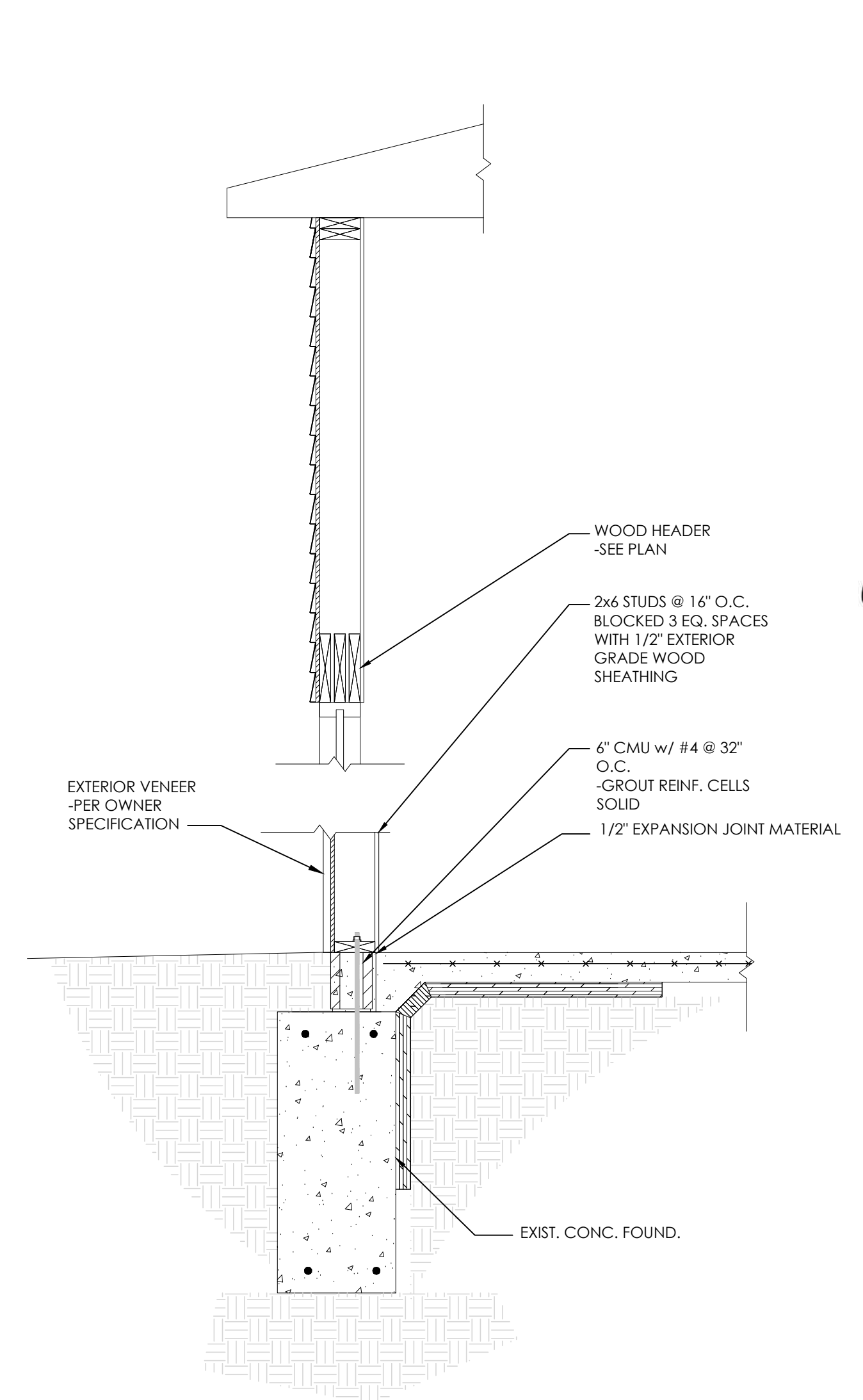
2 SECTION
 S-101 S-102 3/4" = 1'-0"



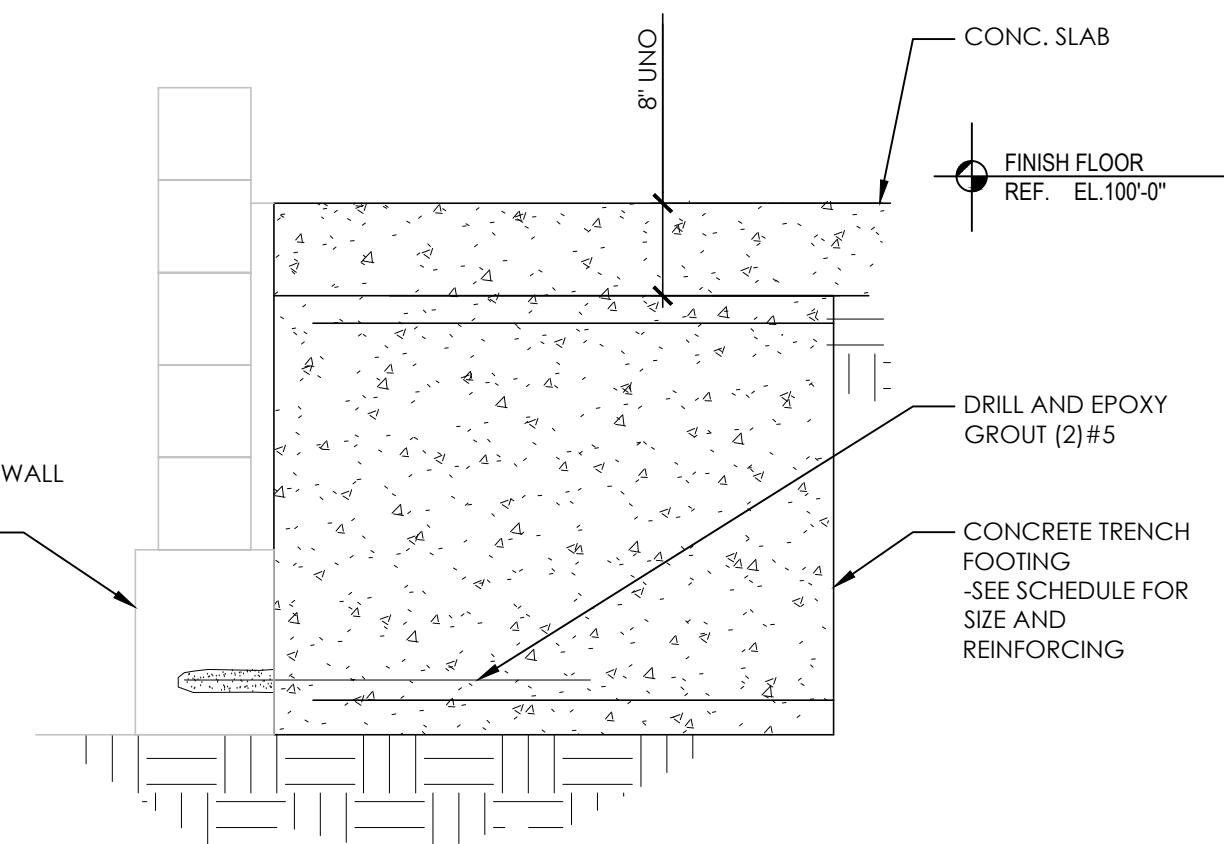
7 DETAIL
 S-101 S-102 1 1/2" = 1'-0"



6 DETAIL
 S-101 S-102 1 1/2" = 1'-0"



1 SECTION
 S-101 S-102 3/4" = 1'-0"



5 TYP. DRILL/EPOXY FOOTING DETAIL
 S-101 S-102 3/4" = 1'-0"

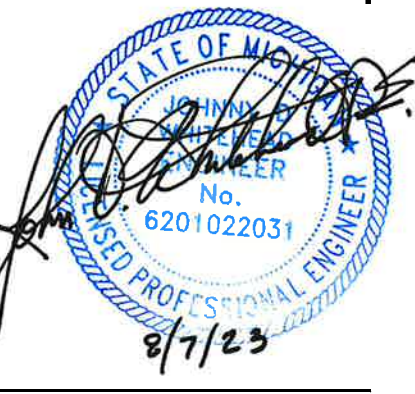


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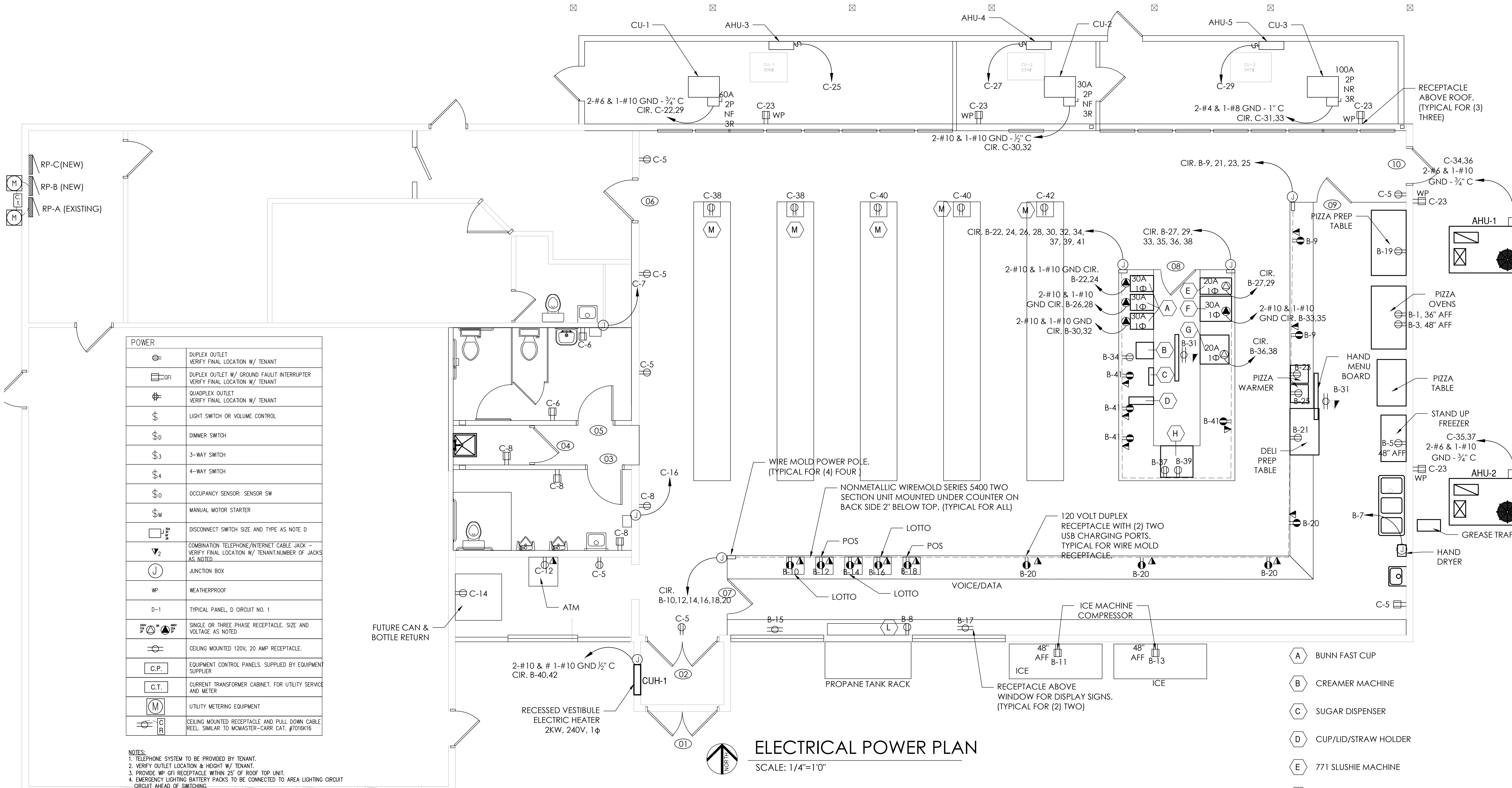
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CHECKED - JDK
SCALE -
JOB NO - TE-22-168
SHEET TITLE -
STRUCTURAL SECTIONS & DETAIL SHEET
S-102



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SCALE	PGMc
JOB NO	TE-22-168
SHEET TITLE	ELECTRICAL POWER PLAN
SHEET	E-100

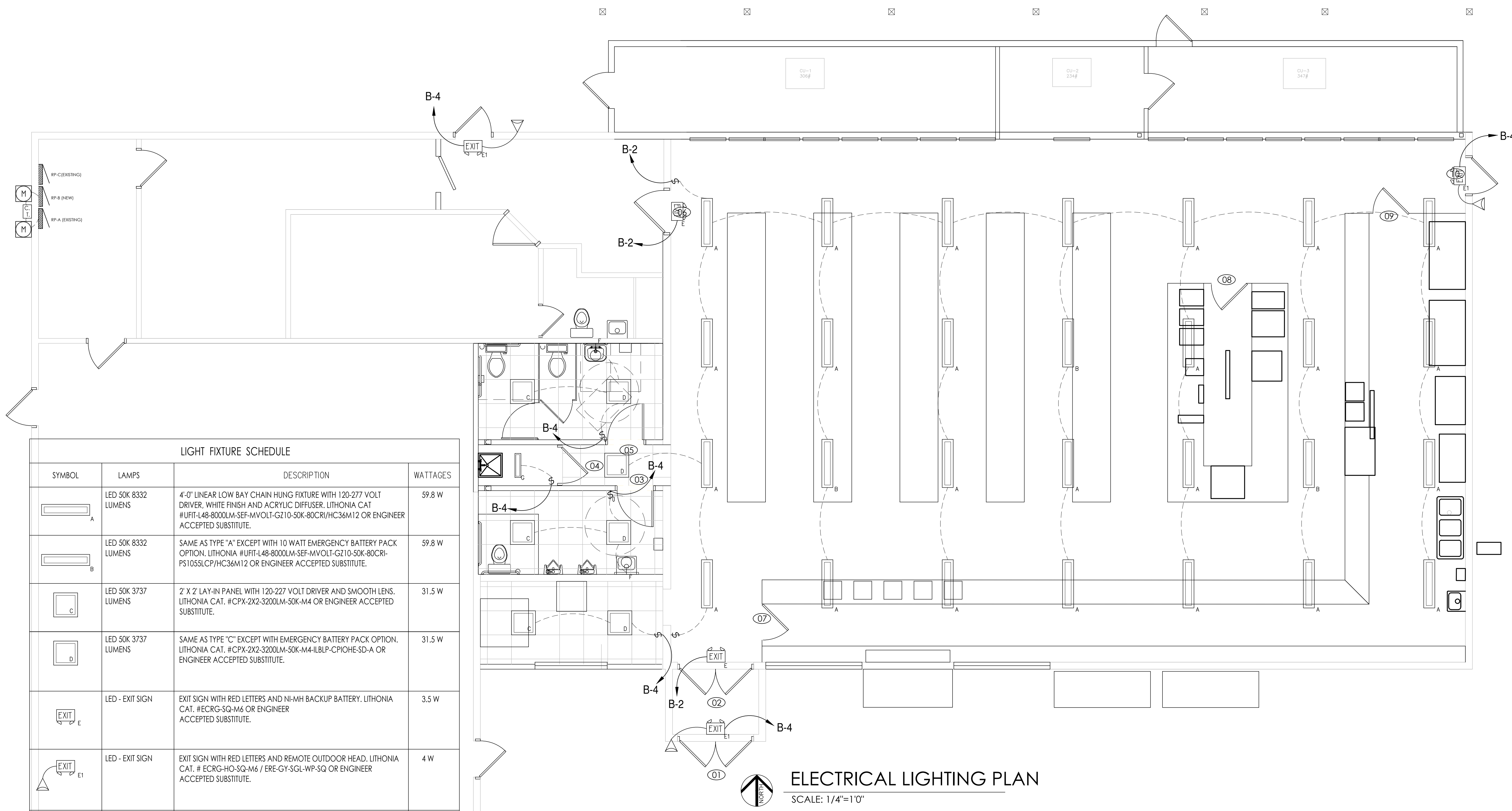


POWER	
	DUPLEX OUTLET VERIFY FINAL LOCATION W/ TENANT
	DUPLEX OUTLET W/ GROUND FAULT INTERRUPTER VERIFY FINAL LOCATION W/ TENANT
	QUADPLEX OUTLET VERIFY FINAL LOCATION W/ TENANT
	LIGHT SWITCH OR VOLUME CONTROL
	DIMMER SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	OCCUPANCY SENSOR: SENSOR SW
	MANUAL MOTOR STARTER
	DISCONNECT SWITCH SIZE AND TYPE AS NOTE D
	COMBINATION TELEPHONE/INTERNET CABLE JACK - VERIFY FINAL LOCATION W/ TENANT, NUMBER OF JACKS AS NOTED.
	JUNCTION BOX
	WEATHERPROOF
	TYPICAL PANEL, D CIRCUIT NO. 1
	SINGLE OR THREE PHASE RECEPTACLE. SIZE AND VOLTAGE AS NOTED
	EQUIPMENT CONTROL PANELS, SUPPLIED BY EQUIPMENT SUPPLIER
	CURRENT TRANSFORMER CABINET, FOR UTILITY SERVICE AND METER
	UTILITY METERING EQUIPMENT
	CEILING MOUNTED RECEPTACLE AND PULL DOWN CABLE REEL, SIMILAR TO MCMASTER-CARR CAT. #7016K16

NOTES:
 1. TELEPHONE SYSTEM TO BE PROVIDED BY TENANT.
 2. VERIFY OUTLET LOCATION & HEIGHT W/ TENANT.
 3. PROVIDE WP GFI RECEPTACLE WITHIN 25' OF ROOF TOP UNIT.
 4. EMERGENCY LIGHTING BATTERY PACKS TO BE CONNECTED TO AREA LIGHTING CIRCUIT AHEAD OF SWITCHING.

ELECTRICAL POWER PLAN
 SCALE: 1/4"=1'0"

- A BUNN FAST CUP
- B CREAMER MACHINE
- C SUGAR DISPENSER
- D CUP/LID/STRAW HOLDER
- E 771 SLUSHIE MACHINE
- F 774 SLUSHIE MACHINE
- G POP MACHINE
- H SMOOTHIE DISPENSER
- J LOTTO
- K POS
- L CIGARETTE MACHINE
- M STACK LIGHTING



LIGHT FIXTURE SCHEDULE			
SYMBOL	LAMPS	DESCRIPTION	WATTAGES
	LED 50K 8332 LUMENS	4'-0" LINEAR LOW BAY CHAIN HUNG FIXTURE WITH 120-277 VOLT DRIVER, WHITE FINISH AND ACRYLIC DIFFUSER. LITHONIA CAT. #UFIT-L48-8000LM-SEF-MVOLT-GZ10-50K-80CRI/H3C36M12 OR ENGINEER ACCEPTED SUBSTITUTE.	59.8 W
	LED 50K 8332 LUMENS	SAME AS TYPE "A" EXCEPT WITH 10 WATT EMERGENCY BATTERY PACK OPTION. LITHONIA CAT. #UFIT-L48-8000LM-SEF-MVOLT-GZ10-50K-80CRI-PS105SLCF/H3C36M12 OR ENGINEER ACCEPTED SUBSTITUTE.	59.8 W
	LED 50K 3737 LUMENS	2' X 2' LAY-IN PANEL WITH 120-277 VOLT DRIVER AND SMOOTH LENS. LITHONIA CAT. #CPX-2X2-3200LM-50K-M4 OR ENGINEER ACCEPTED SUBSTITUTE.	31.5 W
	LED 50K 3737 LUMENS	SAME AS TYPE "C" EXCEPT WITH EMERGENCY BATTERY PACK OPTION. LITHONIA CAT. #CPX-2X2-3200LM-50K-M4-ILBLP-CPIOHE-SD-A OR ENGINEER ACCEPTED SUBSTITUTE.	31.5 W
	LED - EXIT SIGN	EXIT SIGN WITH RED LETTERS AND NI-MH BACKUP BATTERY. LITHONIA CAT. #ECRG-SQ-M6 OR ENGINEER ACCEPTED SUBSTITUTE.	3.5 W
	LED - EXIT SIGN	EXIT SIGN WITH RED LETTERS AND REMOTE OUTDOOR HEAD. LITHONIA CAT. # ECRG-HO-SQ-M6 / ERE-GY-SGL-WP-SQ OR ENGINEER ACCEPTED SUBSTITUTE.	4 W
	LED 40K 1740 LUMENS	2'-0" VANITY FIXTURE WITH 120-277 VOLT DRIVER AND SQUARE ACRYLIC DIFFUSER. LITHONIA CAT. #FMVCS-24IN-MVOLT-40K-90CRI-BN-M6 OR ENGINEER ACCEPTED SUBSTITUTE.	27 W
	LED 35K 940 LUMENS	2'-0" STRIP FIXTURE WITH 120V DRIVER AND DIFFUSED POLYCARBONATE LENS. LITHONIA CAT. #RLNK-624-120-35K-80CRI-M4 OR ENGINEER ACCEPTED SUBSTITUTE.	8.9 W

ELECTRICAL LIGHTING PLAN
SCALE: 1/4"=1'0"

- NOTES:
1. TELEPHONE SYSTEM TO BE PROVIDED BY TENANT.
 2. VERIFY OUTLET LOCATION & HEIGHT W/ TENANT.
 3. PROVIDE WP GFI RECEPTACLE WITHIN 25' OF ROOF TOP UNIT.
 4. EMERGENCY LIGHTING BATTERY PACKS TO BE CONNECTED TO AREA LIGHTING CIRCUIT CIRCUIT AHEAD OF SWITCHING.

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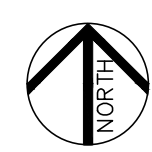
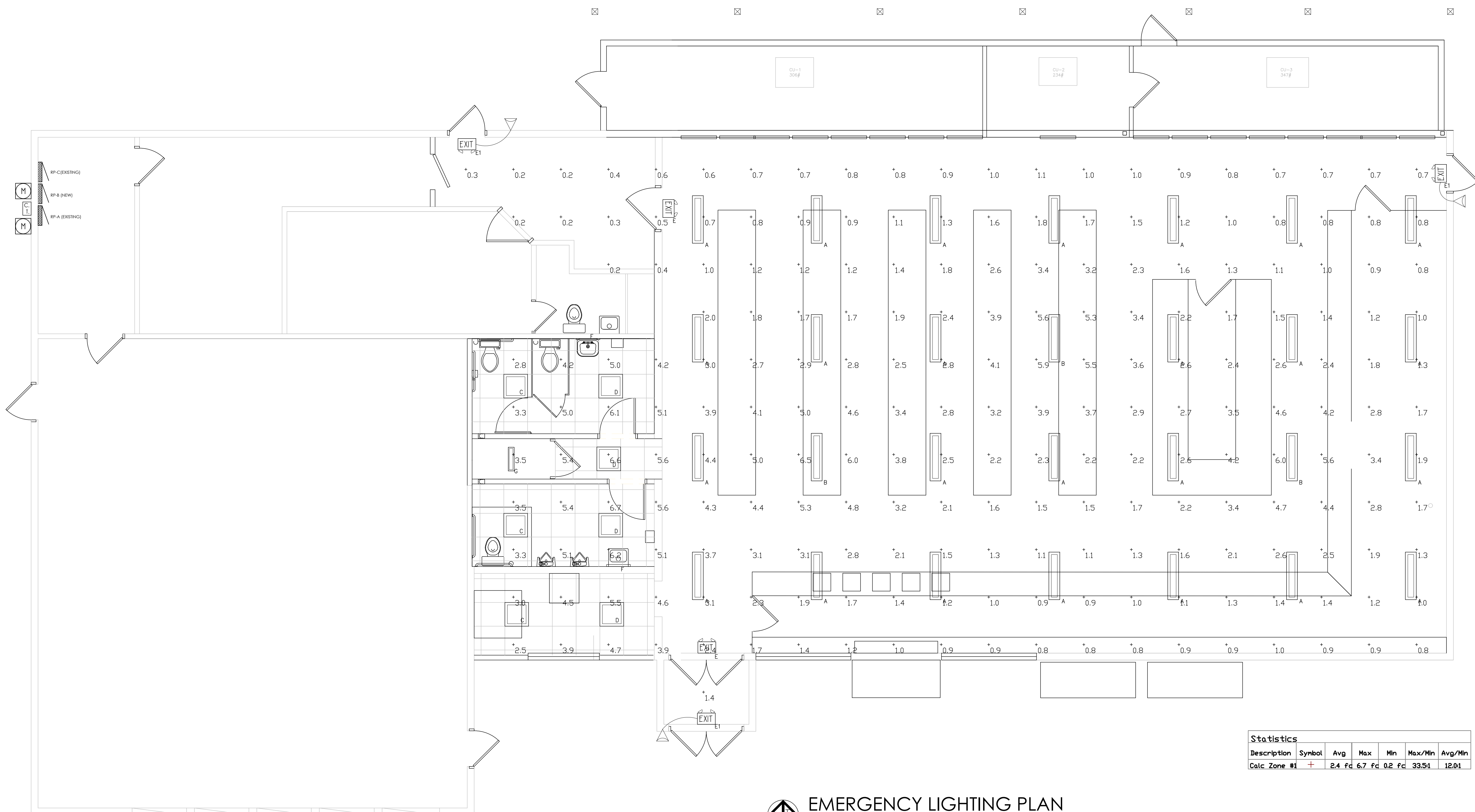


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SCALE : PGMc
JOB NO : TE-22-168
SHEET TITLE :
ELECTRICAL LIGHTING PLAN
SHEET
E-101



EMERGENCY LIGHTING PLAN

SCALE: 1/4"=1'0"

Statistics					
Description	Symbol	Avg	Max	Min	Max/Min
Calc. Zone #1	+	2.4 fcd	6.7 fcd	0.2 fcd	33.5:1
					12.0:1

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JOB NO - TE-22-168
SHEET TITLE -
EMERGENCY LIGHTING PLAN
 SHEET
E-103

DUCTWORK - DELIVERY, STORAGE AND HANDLING

1. PROTECT ALL DUCTWORK, FLANGES, FITTINGS AND SPECIALTIES FROM WEATHER, MOISTURE, DIRT AND DAMAGE RESULTING FROM OTHER CAUSES SUCH AS TOOL IMPACT, ACCIDENTS, CARELESSNESS OR ABUSE. ELEVATE ABOVE GRADE. DO NOT EXCEED STRUCTURAL CAPACITY OF FLOOR, IF STORED INSIDE.

HVAC CONSTRUCTION NOTES

1. FABRICATION AND INSTALLATION AND OF ALL DUCTWORK SHALL CONFORM TO SMACNA DUCT STANDARDS, ASHRAE HANDBOOKS AND LOCAL CODES.

GUIDELINES FOR DUCTWORK SIZING : AT 0.10" W.C. PER 100 FT:
MAIN SUPPLY DUCTS : 2,000 FPM
BRANCH DUCTS : 1,500 FPM
RETURN AND EXHAUST DUCTS : 1,500 FPM
ROOM TERMINAL AIR DEVICES : 800 FPM

ROUND DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED SHEET METAL STEEL, SIZED AS SHOWN :

SIZE	GUAGE
14" AND SMALLER	24
16" TO 36"	22
38" TO 50"	20
52" TO 60"	18

RECTANGULAR DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED SHEET METAL STEEL, SIZED AS SHOWN :

DIMENSION OF LONGEST SIDE	GUAGE
UP TO 18"	24
20" TO 48"	22
50" TO 72"	20
74" AND OVER	18

2. COORDINATE LOCATIONS OF DUCTS WITH EXISTING STRUCTURE, PLUMBING, LIGHTS, SPRINKLERS, CONDUIT EQUIPMENT AND ALL FIELD CONDITIONS AND OTHER TRADES.

3. COORDINATE LOCATION OF REGISTERS, GRILLES, AND DIFFUSERS WITH THE ARCHITECTURAL REFLECTED CEILING PLAN AND ELECTRICAL DRAWINGS. CENTER GRILLES AND DIFFUSERS IN CEILING TILES.

4. FOR DUCTWORK ELBOWS USE LONG RADIUS ELBOWS WITH A CENTERLINE RADIUS EQUAL TO (2) TIMES THE DUCT DIAMETER ON ROUND DUCT, AND ELBOW WIDTH ON RECTANGULAR DUCT. AT SQUARE ELBOWS GREATER THAN 45 DEGREES USE TURNING VANES.

5. FLEXIBLE CONNECTIONS SHALL BE INSTALLED AT POINTS WHERE DUCTS CONNECT TO AIR HANDLING EQUIPMENT OR OTHER EQUIPMENT TO MINIMIZE TRANSMISSIONS OF MECHANICAL VIBRATION IN DUCTWORK. ALL FLEXIBLE CONNECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SMACNA STANDARDS.

6. PROVIDE FIRE STOP IN WALL, FLOOR, AND CEILING PENETRATIONS WHERE REQUIRED TO MAINTAIN FIRE SEPARATION.

7. SEAL SUPPLY AND RETURN JOINTS AND SEAMS WITH HARD-CAST DUCT SEALANT.

8. SUPPLY AND RETURN DUCT TO BE INSULATED UNLESS INDICATED OTHERWISE WITH 1-1/2" THICK, BLANKET-TYPE, FIBERGLASS INSULATION WITH FACTORY APPLIED VAPOR BARRIER, 2" STAPLING AND TAPING FLANGE ALONG ONE EDGE. INSULATION : ASTM C553, DENSITY OF 0.75; CONDUCTIVITY OF 0.23 @75F; VAPOR BARRIER : LAMINATED WHITE KRAFT PAPER, ALUMINUM FOIL, GLASS FIBER REINFORCEMENT, PERMEANCE OF 0.02, AND PUNCTURE RESISTANCE OF 50 UNITS. COMPOSITE FLAMES SPREAD / SMOKE DENSITY OF 25/50. APPROVED MANUFACTURERS : CERTANTEED, JOHNS MANSVILLE, KNAUF, OWENS/CORNING.

9. FOR EXTERIOR ROOF MOUNTED DUCTWORK PROVIDE 1" MINIMUM RIGID PHENOLIC INSULATION AND UV RESISTANT ALUMINUM JACKET WITH WATERPROOF SEAMS.

10. ALL SUPPLY AND OUTSIDE AIR DUCTS FROM MAKE UP AIR UNITS SHALL BE LINED WITH ACOUSTICAL DUCT INSULATION FROM UNIT CONNECTION TO TEN FEET INTO THE SYSTEM. DUCT SIZES SHOWN ARE NET INSIDE DIMENSIONS, ADJUST DUCT SIZES FOR LINING.

11. FLEXIBLE DUCT IS NOT ALLOWED ON RETURN AND EXHAUST SYSTEMS.

12. PROVIDE VOLUME DAMPERS IN ALL TAKEOFFS TO ALL DIFFUSERS.

13. CEILING MOUNTED EQUIPMENT SHALL BE INSTALLED WITH SUFFICIENT CLEARANCE FOR FUTURE MAINTENANCE. FOLLOW THE MANUFACTURE'S RECOMMENDATIONS FOR INSTALLATION.

14. PROVIDE CONDENSATE PIPING WHERE REQUIRED, ROUTE CONDENSATE PIPING TO FLOOR DRAIN. CONDENSATE PIPE TO BE PITCHED 1/8" PER FOOT IN THE DIRECTION OF THE FLOOR DRAIN.

15. INSTALL SMOKE DETECTORS AS REQUIRED BY APPLICABLE CODES, INTERLOCKED TO SHUT DOWN FANS IN ALL AIR HANDLING SYSTEMS SUPPLYING AIR IN EXCESS OF 2,000 CFM. INSTALL IN RETURN AIR STREAM OF DUCTWORK.

FOR SYSTEMS WITH MORE THAN 15,000 CFM INSTALL SMOKE DETECTORS IN SUPPLY AIR AND RETURN AIR STREAM OF DUCTWORK.

WHEN SMOKE DETECTOR IS ACTIVATED A SIGNAL WILL BE SENT TO THE FIRE ALARM AND A VISUAL AND AUDIBLE SIGNAL WILL ACTIVATED.

16. ALL COMBINATION FIRE / SMOKE DAMPERS ARE TO BE INTERLOCKED WITH AND ACTUATED BY THE BUILDING FIRE ALARM SYSTEM. PROVIDE FIRE OR COMBINATION FIRE AND SMOKE DAMPERS IN DUCTWORK OR TRANSFER AIR OPENINGS OF ALL FIRE RATED ASSEMBLIES. CEILING RADIATION DAMPERS ARE REQUIRED AT ALL DUCT / FAN PENETRATIONS OF FIRE RATED CEILINGS. COORDINATE REQUIRED LOCATIONS OF DAMPERS WITH ARCHITECTURAL PLANS INDICATING FIRE AND / OR SMOKE RATED ASSEMBLIES. REFER TO DETAILS.

17. UNLESS MORE STRINGENT LOCAL CODES REQUIRE IT, PROVIDE MINIMUM SINGLE STAGE MERV 8 FILTRATION OR EQUIVALENT FOR RECIRCULATING EQUIPMENT. PROVIDE MINIMUM MERV 12 FILTRATION OR EQUIVALENT FOR AIR HANDLING EQUIPMENT USED TO CONDITION AND SUPPLY AIR.

18. PROVIDE ACCESS DOORS IN CEILINGS AND WALLS FOR ACCESS TO ALL VALVES, VENTS, CONTROLS, DAMPERS, MOTORS, ETC.

19. ALL EXPOSED GRILLES AND DIFFUSERS SHALL HAVE FACTORY FINISH TO MATCH ADJACENT SPACE OR AS INSTRUCTED BY THE ARCHITECT. SUBMIT COLOR SAMPLES FOR SELECTIONS. REFER TO ARCHITECTURAL SPECIFICATIONS FOR PAINTING.

20. ALL EXPOSED DUCTWORK IN FINISHED SPACES SHALL BE PAINTED. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.

21. MECHANICAL CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL TRADES THE LOCATION AND SIZES OF ACCESS DOORS THAT SHALL BE INSTALLED FOR EQUIPMENT ABOVE GYPSUM CEILINGS.

22. THE CONTRACTOR SHALL COORDINATE LOCATION OF INDOOR AND ROOF MOUNTED EQUIPMENT WITH OTHER TRADES TO AVOID CONFLICTS WITH LIGHTS, PLUMBING SYSTEM, CONDUITS, PIPING, DUCTWORK, STRUCTURAL STEEL, ETC.

23. ALL MATERIAL LOCATED WITHIN A RETURN AIR PLENUM SHALL BE NON-COMBUSTIBLE OR LISTED FOR USE WITHIN A PLENUM.

24. THE CONTRACTOR SHALL FIELD VERIFY AND COORDINATE WITH OTHER TRADES AS REQUIRED TO FACILITATE THE INSTALLATION OF ALL EQUIPMENT, PIPING, DUCTWORK, GRILLES, ETC TO AVOID CONFLICT.

25. COORDINATE ALL DUCT ROUTING IN ATTIC SPACE OR CONCEALED SPACES WITH STRUCTURAL FRAMING.

CARBON MONOXIDE DETECTOR

1. A CARBON MONOXIDE DETECTOR IS TO BE INSTALLED IN MECHANICAL ROOMS, WATER HEATER ROOMS, POOL EQUIPMENT ROOMS, AND IN AREAS ABOVE AND ADJACENT TO AREAS WHERE A MECHANISM IS PRESENT THAT BURNS FOSSIL FUEL.

2. THE CARBON MONOXIDE DETECTOR IS TO BE CALIBRATED TO ACTIVATE PER CURRENT UL 2034 STANDARDS :
400 ppm / 4 TO 15 MINUTES EXPOSURE
100 PPM / 10 TO 50 MINUTES EXPOSURE
70 PPM / 60 TO 240 MINUTES EXPOSURE

3. THE CARBON MONOXIDE DETECTOR IS TO BE CEILING MOUNTED, 120 VOLT OPERATION WITH BATTERY BACKUP.

4. THE CARBON MONOXIDE DETECTOR SHALL BE WIRED TO THE SMOKE ALARM. UPON DETECTION OF UNSAFE LEVELS OF CARBON MONOXIDE IN THE MONITORED AREA, A DISTINCT AUDIBLE AND VISUAL SIGNAL WILL BE SENT TO THE EMERGENCY CALL SYSTEM ANNUNCIATOR PANEL.

5. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

MECHANICAL COMMISSIONING - TESTING NOTES

EQUIPMENT FOR THE HVAC SYSTEM AND TEMPERATURE CONTROLS SHALL BE COMMISSIONED PER THE ANSI / ASHRAE COMMISSIONING PROCESS FOR BUILDINGS AND SYSTEMS. THE COMMISSIONING PROCESS INTEGRATES THE TRADITIONALLY SEPARATE FUNCTIONS OF SYSTEM DOCUMENTATION, EQUIPMENT STARTUP, PERFORMANCE TESTING AND TRAINING. COMMISSIONING DURING THE CONSTRUCTION PHASE IS INTENDED TO ACHIEVE THE FOLLOWING SPECIFIC OBJECTIVES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS:

1. VERIFY AND DOCUMENT THAT APPLICABLE EQUIPMENT AND SYSTEMS ARE INSTALLED ACCORDING TO THE MANUFACTURE'S RECOMMENDATIONS, CONTRACT REQUIREMENTS, AND INDUSTRY STANDARDS AND THAT THEY RECEIVE ADEQUATE OPERATIONAL CHECKOUT BY INSTALLED CONTRACTORS.

2. VERIFY AND DOCUMENT PROPER PERFORMANCE OF EQUIPMENT AND SYSTEMS. CONTRACTOR SHALL OPERATE ALL PARTS OF ENTIRE HEATING, VENTILATING, AND AIR CONDITIONING, MAKING ADJUSTMENTS AND REPAIRS. BALANCE AIR DELIVERY AT OUTLETS, BALANCING WATER FLOWS AT EQUIPMENT REQUIRING WATER, AND LEAVE SYSTEM TESTED AND READY FOR OPERATION.

START MOTOR DRIVEN EQUIPMENT AND MAKE SURE THAT THERMAL OVERLOAD PROTECTION DOES NOT SHUT DOWN THE MOTOR DURING ACCELERATION PERIOD. START FANS AND CHECK FOR UNUSUAL VIBRATION AS WELL AS FOR DISTORTION AND MISALIGNMENT OF FAN WHEELS AND SHAFTS. CORRECT DEFECTS FOUND. CHECK MOTORS FOR DIRECTIONAL ROTATION. OBTAIN ELECTRICAL TRADES ASSISTANCE WHERE REQUIRED. ALIGN BELTS AND CHECK BELT TENSION. CHECK THAT BELTS OF EACH MULTI-BELT DRIVE ARE MATCHED SET. REPLACE IF REQUIRED. ON MULTIPLE BELT VARIABLE PITCH DRIVES, CHECK THAT ALL BELTS AREA STRICTLY PARALLEL. ADJUST AS REQUIRED. AFFIX LABEL ON EQUIPMENT INFORMATION REQUIRED FOR ORDERING REPLACEMENT BELTS. CHECK THAT TACHOMETER OPENINGS IN BELT GUARD ARE ALIGNED WITH SHAFT ENDS. ADJUST GUARDS AS REQUIRED. CHECK SET POINTS OF OPERATING AND SAFETY CONTROL DEVICES. OPERATE DAMPER MECHANISM. CHECK DAMPERS FOR CORRECT ACTION. CHECK FOR TIGHT CLOSING. ADJUST AS REQUIRED. OPERATE TEMPERATURE CONTROL VALVES AND CHECK FOR CORRECT ACTION.

3. TEST AND BALANCE AIR DISTRIBUTION SYSTEM TO WITHIN 10% OF CFM LISTED ON THE DRAWINGS. BALANCE AIR DELIVERY AT OUTLETS, BALANCING WATER FLOWS AT EQUIPMENT REQUIRING WATER, AND LEAVE SYSTEMS TESTED AND READY FOR OPERATION.

4. CONTRACTOR SHALL TEST ALL CONTROLS AND WIRING TO ENSURE OPERATION OF EQUIPMENT. CHECK IF PRESSURE GAUGES, THERMOMETERS, SENSORS AND FLOW MEASUREMENT DEVICES ARE PLACED IN CORRECT LOCATION. MAKE MODIFICATIONS AS REQUIRED. CHECK ACCESS DOORS AND ACCESS PANELS FOR FREE HINGE AND LATCH OPERATION AS WELL AS EFFECTIVE SEATING OF SEALS. MAKE REPAIR AS REQUIRED. REPOSITION INSTRUMENTS FOUND DIFFICULT TO READ.

5. VERIFY AND DOCUMENT THAT OPERATION AND MAINTENANCE DOCUMENTATION IS COMPLETE. VERIFY AND DOCUMENT THAT THE FACILITY OPERATING PERSONNEL ARE PROPERLY TRAINED. CONTRACTOR SHALL PROVIDE BALANCING REPORTS FOR APPROVAL. PRIOR TO FINAL ACCEPTANCE, THESE REPORTS SHALL INCLUDE AIR FLOW MEASUREMENTS AT OUTLETS, TOTAL AIR QUANTITY HANDLED, INDIVIDUAL WATER FLOW A EQUIPMENT, TOTAL WATER FLOW AT PUMPS, MOTOR AND AMPERAGE, VOLTAGE NAMEPLATE, ACTUAL OPERATING AMPERAGE AND VOLTAGE, AND A STATEMENT THAT THE CONTROL SYSTEM HAS BEEN CHECKED AND VERIFIED FOR OPERATION.

APPROVED MANUFACTURER'S

ACCESS DOORS

RUSKIN
DUCTMATE INDUSTRIES
NAILOR INDUSTRIES, INC.

DUCT INSULATION (EXTERIOR)

ARMACELL
RUBATEX

DUCT INSULATION (INTERIOR)

CERTAIN TEED
JOHNS MANSVILLE
KNAUF
OWENS-CORNING

DUCT SEALANT

MC GILL AIRFLOW
POLYMER ADHESIVES
DUCTMATE INDUSTRIES

FIRE AND SMOKE DAMPERS

RUSKIN
GREENHECK

FIRE STOPPING

HILTI

FLEXIBLE DUCTWORK

DUCTMATE INDUSTRIES
OWENS-CORNING FIBERGLASS
THERMAFLEX TYPE M-KE

GRILLE, REGISTERS, DIFFUSERS

TITUS
PRICE

SHEET METAL DUCTWORK

UNITED SHEET METAL
ALLIED MECHANICAL SERVICES
SEMCO
MCGILL AIRFLEX

VOLUME CONTROL DAMPERS

NAILOR INDUSTRIES, INC.
RUSKIN
GREENHECK
VENTLOCK

HYDRONIC WATER PIPING

1. ALL HYDRONIC WATER PIPING (HOT WATER SUPPLY AND HOT WATER RETURN)

PIPING 2" AND SMALLER SHALL BE :

- TYPE 'L' COPPER TUBING, ASTM B88, WITH SOLDERED JOINTS AND WROUGHT COPPER FITTINGS ASME B16.22 AND GRADE 95TA SOLDER JOINT.
- TYPE BCS-150, BLACK CARBON STEEL, ASTM A53, TYPE S (SEAMLESS) OR TYPE E (ELECTRIC-RESISTANCE WELDED), GRADE A, SCHEDULE 40, PLAIN ENDS.

PIPING 2 1/2" AND LARGER SHALL BE :

- TYPE 'L' HARD COPPER TUBE.
- USE ASTM A536, GRADE 65-45-12 DUCTILE IRON GROOVED MECHANICAL JOINTS FOR WITH ASTM A53, TYPE F, E, OR S, GRADE B FABRICATED STEEL, OR ASTM A106, GRADE B STEEL FITTINGS WITH GROOVES OR SHOULDERS DESIGNED TO ACCEPT GROOVED END COUPLINGS. USE APPROPRIATE GASKETS FOR 200°F

2. PITCH ALL HYDRONIC PIPING DOWN 1/8" PER 1'-0" IN THE DIRECTION OF FLOW.

3. REAM AND FLUSH WATER LINES BEFORE BEING PUT INTO SERVICE. FIRST FLUSH THE ENTIRE SYSTEM WITH CLEAN, POTABLE WATER UNTIL NO DIRTY WATER APPEARS AT THE OUTLETS.

REFRIGERANT PIPING

1. PIPING SHALL BE TYPE 'L' OR TYPE 'M' COPPER TUBING

2. HORIZONTAL REFRIGERANT AND DRAIN PIPING SHALL SLOPE DOWN IN THE DIRECTION OF FLOW AT A MINIMUM SLOPE OF 1/8" PER FOOT OF RUN.

REFRIGERANT PIPING INSULATION

1. CLOSED-CELL INSULATION SHALL BE PROVIDED OVER ALL REFRIGERANT PIPING AND OTHER SERVICES AS SPECIFIED OR NOTED. CLOSED-CELL PIPING INSULATION SHALL BE 1/2" THICK 25/50 ARMAFLEX OR RUBATEX. ALL GLUES AND COATINGS SHALL BE PRODUCTS OF THE SAME MANUFACTURER AS THE INSULATION.

2. INSULATION SHALL BE CONTINUOUS OVER ALL VALVE BODIES, FITTINGS, AND WALL AND FLOOR PENETRATIONS.

REFRIGERANT PIPING

1. GENERAL: INSTALL REFRIGERANT LINES PROPERLY PITCHED WITH OIL TRAPS PROPERLY SIZED, LOCATED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. ANY OIL IN ANY PART OF THE SYSTEM SHALL BE ABLE TO FIND ITS WAY BACK TO THE COMPRESSOR WITH THE SYSTEM OPERATING ON MINIMUM CAPACITY. INSTALL PIPING IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE AS RECOGNIZED BY THE AMERICAN SOCIETY OF HEATING, REFRIGERATING AND AIR CONDITIONING ENGINEERS, AND AS FOLLOWS.

3. ACCESSORIES: PROVIDE NECESSARY ACCESSORIES FOR A COMPLETE AND WORKABLE SYSTEM WHETHER SHOWN ON THE DRAWINGS OR NOT WHICH COULD INCLUDE SUCH ITEMS AS STRAINERS, FILTER DRIER, SIGHT GLASS, RELIEF VALVES, CHARGING VALVES, STOP VALVES, CHECK VALVES, EXPANSION VALVES AND SOLENOID VALVES.

4. UTILIZE THE SERVICES OF A QUALIFIED REFRIGERATION MECHANIC FOR THE INSTALLATION AND TESTING OF REFRIGERANT PIPING AND REFRIGERATION EQUIPMENT.

5. ALL REFRIGERANT PIPING, INSTALLATION, AND TESTING SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF ANS SPECIFICATION B9.1.

CONDENSATE PIPING

1. PIPING SHALL BE SCHEDULE 80 POLYVINYL CHLORIDE PIPE (PVC).

GAS PIPING

1. PROVIDE INDIVIDUAL GAS SHUT OFF PLUG VALVE AND DIRT LEG AT EACH GAS FIRED PIECE OF EQUIPMENT.

2. PROVIDE PRESSURE REGULATOR AND VENTING AS REQUIRED BY CODE.

3. EXTERIOR GAS PIPING PLACED ON THE ROOF SHALL BE PROVIDED WITH SUPPORTING MEANS FOR EXTREME MOVEMENT AND TO PROTECT THE ROOF AS DETAILED ON PLANS. ALSO PROVIDE A FULL WIDTH NON-BINDING STRAP IRON RETAINER ACROSS THE SUPPORT CLEAT.

4. ALL GAS PIPING EXPOSED TO THE WEATHER SHALL BE PAINTED WITH TWO COATS OF YELLOW RUST PREVENTATIVE PAINT.

5. CONTRACTOR TO VERIFY SERVICE SIZE, METER SIZE, AND PRESSURE WITH UTILITY COMPANY.

6. INSTALL GAS PIPING ONLY IN ACCESSIBLE LOCATIONS OR AS REQUIRED BY GOVERNING CODE.

6. GAS PIPING AND TESTING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL UTILITY COMPANY, APPLICABLE CODE AUTHORITIES AND CURRENT STANDARDS OF NFPA.

7. WELDING MATERIALS AND LABOR TO CONFORM TO ASME CODE AND APPLICABLE STATE LABOR REGULATIONS.

8. USE WELDERS FULLY QUALIFIED AND LICENSED BY STATE AUTHORITIES.

9. GAS PIPING: INSTALLATION CODE FOR NATURAL GAS BURNING APPLIANCES AND EQUIPMENT.

10. GAS PIPING INSTALLATIONS SHALL CONFORM TO THE MINIMUM REQUIREMENTS LOCAL AUTHORITY HAVING JURISDICTION.

PRODUCTS

1. ALL ABOVEGROUND GAS PIPING 4" AND SMALLER SHALL BE ASTM A53, SCHEDULE 40 BLACK STEEL WITH MALLEABLE IRON FITTINGS. THREADED PIPE AND FITTINGS FOR PIPE 2" AND SMALLER, AND WELDED PIPE FOR 2 1/2" PIPE AND LARGER.

2. GAS COCKS 2" AND SMALLER SHALL BE ALL IRON WITH BRASS SQUARE HEAD PLUG. EQUAL TO CRANE NO. 324.

3. GAS COCKS LARGER THAN 2" SHALL BE LUBRICATED PLUG COCKS WITH WELDING ENDS, WRENCH OPERATED. EQUAL TO HORDSTORM NO. 2025 1/2.

UNIONS AND COUPLINGS

1. SIZE 2 1/2" AND UNDER: 150 PSI BLACK MALLEABLE IRON, GROUND JOINT BRASS TO IRON SEAT UNIONS FOR THREADED FERROUS PIPING AIR TESTED FOR GAS SERVICE. EQUAL TO GRINNELL 463 OR EQUAL.

CONNECTIONS

1. SCREW JOINT STEEL PIPING UP TO AND INCLUDING 1 1/2". WELD PIPING 2 1/2" AND LARGER, INCLUDING BRANCH CONNECTIONS. SCREW OR WELD 2 INCH PIPING. ALL INTERMEDIATE PRESSURE PIPE 2" AND LARGER SHALL HAVE WELDED JOINTS.

2. ALL EQUIPMENT CONNECTIONS SHALL BE PRECEDED BY A FULL LINE SIZE MANUAL SHUT-OFF COCK, PRESSURE REGULATOR, 6" DIRT POCKET AND UNION AT THE EQUIPMENT. UNION SHALL BE INSTALLED BETWEEN THE SHUTOFF COCK AND THE EQUIPMENT. PRESSURE REGULATORS SHALL BE RATED TO REGULATE FROM 2 PSI TO OUNCES PRESSURE AND WHEN LOCATED INSIDE THE BUILDING SHALL BE VENTED TO THE OUTSIDE ATMOSPHERE AS REQUIRED BY THE LOCAL AUTHORITY.

3. PROVIDE A 6" DIRT POCKET AT THE LOW POINT OF THE GAS LINE AND WHERE SHOWN ON THE DRAWINGS COMPLETE WITH A SCREWED CAP END.

4. WELDED JOINTS SHALL BE FUSION-WELDED UNLESS OTHERWISE REQUIRED. CHANGES IN DIRECTION OF PIPING SHALL BE MADE WITH WELDING FITTINGS ONLY. MITERING OR NOTCHING PIPE TO FORM ELBOWS AND TEES OR OTHER SIMILAR CONSTRUCTION WILL NOT BE PERMITTED. BRANCH CONNECTIONS SHALL BE MADE WITH WELDING TEES OR FORGED WELDING BRANCH OUTLETS.

BEVELING

FIELD AND SHOP BEVELS SHALL BE IN ACCORDANCE WITH THE RECOGNIZED STANDARDS AND SHALL BE DONE BY MECHANICAL MEANS OR FLAME CUTTING. WHERE BEVELING IS DONE BY FLAME CUTTING, SURFACES SHALL BE CLEANED OF SCALE AND OXIDATION PRIOR TO WELDING.

ALIGNMENT

BEFORE WELDING, THE COMPONENT PARTS TO BE WELDED SHALL BE ALIGNED SO THAT NO STRAIN IS PLACED ON THE WELD WHEN FINALLY POSITIONED. HEIGHT SHALL BE SO ALIGNED THAT NO PART OF THE PIPE WALL IS OFFSET BY MORE THAN 20 PERCENT OF THE WALL THICKNESS. FLANGES AND BRANCHES SHALL BE SET TRUE. THIS ALIGNMENT SHALL BE PRESERVED DURING THE WELDING OPERATION.

ERECTION

WHERE THE TEMPERATURE OF THE COMPONENTS BEING WELDED REACHES 32 DEGREES F OR LOWER, THE MATERIAL SHALL BE HEATED TO APPROXIMATELY 100 DEGREES F FOR A DISTANCE OF 3 FT ON EACH SIDE OF THE WELD BEFORE WELDING, AND THE WELD SIDE OF THE WELD BEFORE WELDING, AND THE WELD SHALL BE FINISHED BEFORE THE MATERIAL COOLS TO 32 DEGREES F.

ROUTE AND GRADES

1. ROUTE PIPING IN ORDERLY MANNER AND INSTALL DRIP LEGS FOR CONDENSATION COLLECTION POINTS. RUN PIPING ON DEDICATED ROOF AREA AND PARALLEL TO WALLS.

2. INSTALL PIPING TO ALLOW FOR EXPANSION AND CONTRACTION WITHOUT STRESSING PIPE OR EQUIPMENT CONNECTED.

3. BRANCHES AND TAKE-OFFS SHALL BE OFF THE TOP OF MAINS. ALL HORIZONTAL LINES SHALL PITCH TO RISERS OR APPLIANCES.

TESTING:

A. PROVIDE TEST PUMPS, GAUGES, METERS, AND OTHER INSTRUMENTS, MATERIALS, AND LABOR IN CONNECTION WITH TESTS.

B. DO NOT PAINT, COVER OR CONCEAL PIPING, SWING JOINTS, AND THE LIKE, BEFORE TESTING AND OBTAINING APPROVAL.

C. TEST PIPING WHICH WILL BE CONCEALED, IN SECTIONS AS APPROVED, IN A MANNER WHICH WILL NOT LEAVE ANY PIPE OR JOINT UNTESTED.

D. PRIOR TO TESTING PIPING SYSTEMS, REMOVE OR OTHERWISE PROTECT FROM DAMAGE, CONTROL DEVICES, AIR VENTS, AND OTHER PARTS WHICH ARE NOT DESIGNED TO STAND PRESSURES USED IN TESTING PIPING.

E. TEST WELDED PIPING FOR LEAKS, UNDER 100 PSI AIR PRESSURE WITH SOAP SUDS; THIS TEST SHALL PRECEDE HYDROSTATIC TEST.

F. MAKE NECESSARY REPAIRS AND REPEAT TESTS UNTIL THE ENTIRE SYSTEM IS APPROVED AND SATISFACTORY.

G. PERFORM SPECIFIED SERVICES WITH CONTRACTOR'S QUALIFIED PERSONNEL, OR EMPLOY AND PAY FOR A QUALIFIED ORGANIZATION TO PERFORM SPECIFIED SERVICES.

GAS PIPING

1. THE TEST PRESSURE FOR THIS SYSTEM SHALL BE 1.5 TIMES WORKING PRESSURE BUT NO LESS THAN 60 POUNDS PER SQUARE INCH. THIS TESTING WILL BE CONDUCTED BY USING AIR, CO2, OR NITROGEN PRESSURE TEST. THIS TEST WILL BE HELD FOR NO LESS THAN 1 HOUR WITH NO DROP IN PRESSURE. ALL JOINTS WILL BE SUBJECTED TO A VISUAL INSPECTION AND SOAP TEST. LEAKS AND LOSS IN TEST PRESSURE CONSTITUTE DEFECTS THAT MUST BE REPAIRED. REPAIR ALL LEAKS AND DEFECTS WITH NEW MATERIALS AND RETEST SYSTEM OR PORTION THEREOF UNTIL SATISFACTORY RESULTS ARE OBTAINED.

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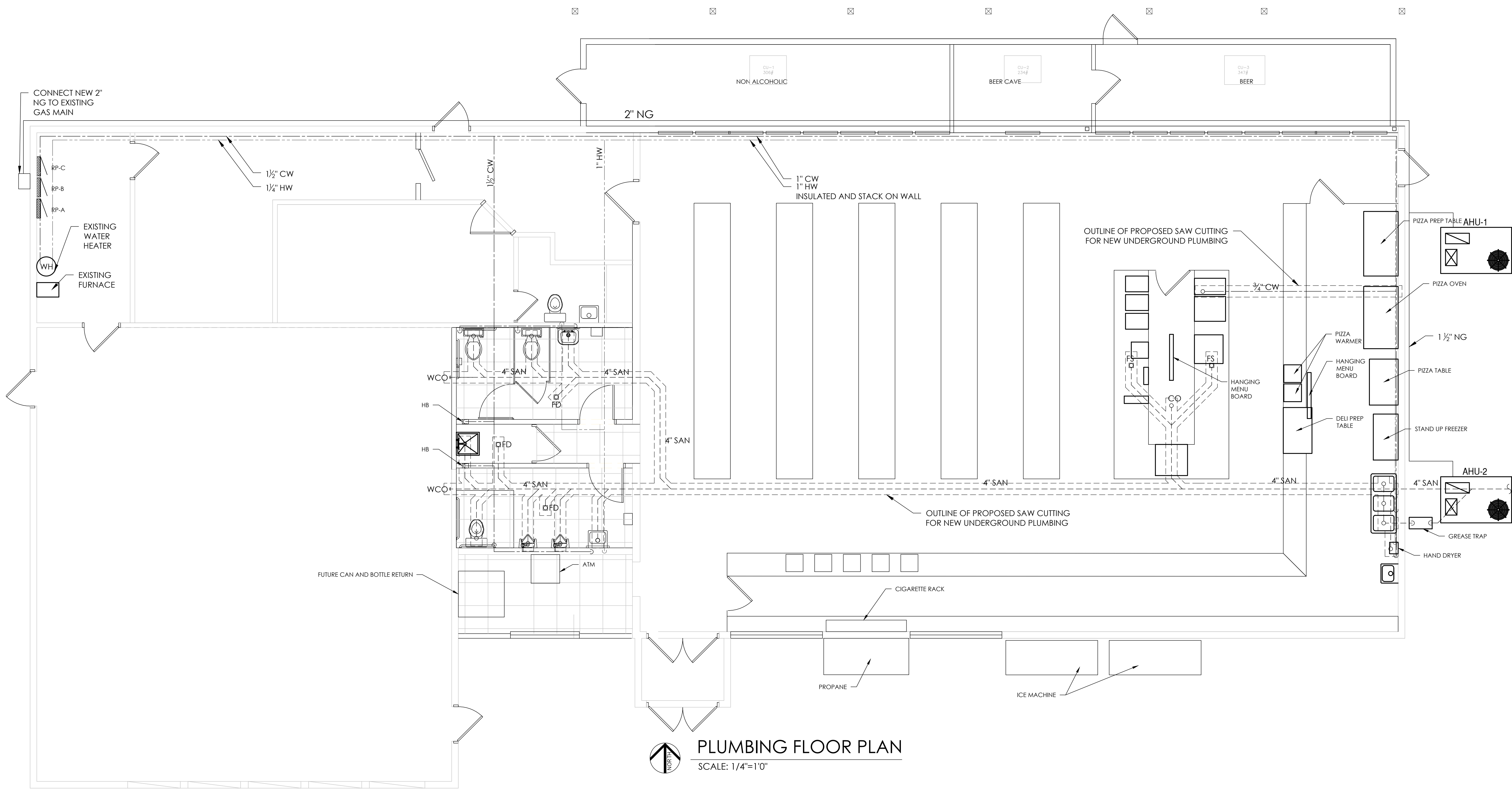


TYRONE PARY STORE
9485 CENTER ROAD
TYRONE TOWNSHIP, LIVINGSTON COUNTY, MI.

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THIS SEAL IS VALID FOR THE STATE OF MICHIGAN.
THE ENGINEER'S SIGNATURE MUST BE PLACED OVER THIS SEAL.
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ISSUED FOR	DATE
OWNER REVIEW	12/01/2022
PERMITS	07/26/2023

DRAWN : RHN
CHECKED : PGMc
SCALE : PGMc
JOB NO : TE-22-168
SHEET TITLE :
PLUMBING NOTES
SHEET
P-001



PLUMBING FLOOR PLAN
 SCALE: 1/4"=1'0"

TYRONÉ PARTY STORE
 9485 CENTER ROAD
 TYRONÉ TOWNSHIP, LIVINGSTON COUNTY, MI.

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ISSUED FOR	DATE
OWNER REVIEW	12/01/2022
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DRAWN - RHN
CHECKED - PGMc
SCALE - PGMc
JOB NO - TE-22-168
SHEET TITLE -
PLUMBING FLOOR PLAN
 SHEET
P-100

GAS LOAD SCHEDULE			
TE-22-168 - TYRONE PARTY STORE			
ROOM NAME	EQUIPMENT	MIN / MAX PRESSURE REQ'D IN INCHES W.C.	TOTAL CFH
EXISTING UTILITY ROOM	EXISTING FURNACE	5.0"-10.5"	125.00
EXISTING UTILITY ROOM	EXISTING WATER HEATER	4"-14"	40.00
MAIN ROOM	PIZZA OVEN	3.50"	40.00
MAIN ROOM	PIZZA OVEN	3.50"	40.00
OUTSIDE	AHU-1	4" - 13"	195.00
OUTSIDE	AHU-2	4" - 13"	195.00
TOTAL			635

Note : Gas loads subject to change based on Owner's final selection of equipment and available gas pressure at the project location. This schedule is to be used for design and estimating purposes only.

PLUMBING FIXTURE SCHEDULE																	
FIXTURE	ITEM	DESCRIPTION	MANF	MODEL	VALVE / TRIM	MANF	MODEL	PIPING SIZES					FLOW RATE GPM	DRAINAGE FIXTURE UNITS	ASSE DEVICE	GENERAL NOTES	
								COLD WATER	HOT WATER	DIRECT WASTE	INDIRECT WASTE	VENT					
AG	AIR GAP FITTING	FIXED AIR GAP FUNNEL	J.R. SMITH	3950-3951													
FD-1	FLOOR DRAIN	FLOOR DRAINS FOR TOILETS AND FINISHED AREAS	J.R. SMITH	2000 SERIES					2"					2		6" TYPE B SQUARE WITH ADJUSTABLE STRAINERS FINISHED IN NICKEL BRONZE, OR TO BE CHROME PLATED IN PUBLIC RESTROOMS AND GUEST LAUNDRY.	
FFD	FUNNELED FLOOR DRAIN	DRIP & CONDENSATE FUNNEL	J.R. SMITH	3811-3824													
FS	FLOOR SINK	12" x 12" x 8" DEEP SQUARE NICKEL BRONZE TOP FOR INDIRECT WASTE	J.R. SMITH	3140					2"					2		WITH CAST ALUMINUM DOME STRAINER	
HB	HOSE BIBB EXTERIOR	NON-FREEZE TYPE w/ INTEGRAL VACUUM BREAKER	J.R. SMITH	5609QT				3/4"						5	1019		
HB	HOSE BIBB INTERIOR FINISHED AREAS	w/ INTEGRAL ASSE 1011 VACUUM BREAKER AND STAINLESS BOX	J.R. SMITH	5509QT-SAP				3/4"						5		HINGED LOCKING COVER	
LAV-1	LAVATORY ADA	PUBLIC RESTROOM WALL MOUNTED, WHITE CHINA LAVATORY w/ 2.2 GPM DECK MOUNTED FAUCET	AMERICAN STANDARD	0355.012	CHROME DUAL HANDLE FAUCET	CHICAGO	895-317ABCP	1/2"	1/2"	1 1/2"				0.4	1	1070	FAUCET HOLES ON 4" CENTERS, WALL HANGER INCLUDED, PROVIDE TEMPERED WATER TEMPERATURE CONTROL.
SS	SERVICE SINK	24"x24"x10" FLOOR MOUNTED	FIAT	MSB-2424	CHROME WALL MOUNT SERVICE SINK FAUCET	CHICAGO	897-CP	1/2"	1/2"	2"				3	3	1052	
UR	URNAL	WHITE VITREOUS CHINA, 0.125 GPF, WALL MOUNTED, ELONGATED RIM, TOP SPUD	AMERICAN STANDARD	6590.001-B1.020	FLUSH VALVE	AMERICAN STANDARD	6063.013.002	3/4"		2"				1.0	4		SENSOR OPERATED FLUSH VALVE, MOUNTED TO BE ADA COMPLIANT.
WHA	WATER HAMMER ARRESTOR	PISTON TYPE WITH PRESSURIZED CUSHIONING CHAMBER.	J.R. SMITH	5005 - 5050													
WC-1	WATER CLOSET	FLOOR MOUNTED WHITE VITROUS CHINA, 1.6 GPF WITH ELONGATED FLUSHOMETER VALVE TOILET	AMERICAN STANDARD	2858.128				1"		4"				1.6	4		
WC-2	WATER CLOSET ADA		AMERICAN STANDARD	211AA.104 4225A.104				1"		4"				1.6	4		
WCD	WALL CLEANOUT	LEAD SEAL PLUG WITH STAINLESS STEEL ACCESS COVER	J.R. SMITH	4402													

GENERAL NOTES

- ALL FIXTURE TRAPS TO HAVE A DEEP SEAL TRAP OR TRAP PRIMER WITH 1/2" CW PIPE, CONFORMING TO ASSE 1018 OR ASSE 1044. PROVIDE A 1/2" CW LINE IF TRAP PRIMERS ARE INSTALLED.
- PROVIDE AN ASSE APPROVED BACKFLOW PREVENTER FOR ALL EQUIPMENT WITH A DIRECT CONNECTION TO THE POTABLE WATER SUPPLY, AND ALL EQUIPMENT WITH A HOSE CONNECTION. BACKFLOW PREVENTERS MUST BE IN COMPLIANCE WITH TABLE 608.1 OF THE PLUMBING CODE.
- PROVIDE AN ASSE 1070 THERMOSTATIC MIXING VALVES ON ALL LAVATORIES AND SINKS.
- PROVIDE SINGLE OUTLET SUPPLY STOP ON HOT WATER/ COLD WATER UNDER SINK EQUAL TO BRASSCRAFT NO. O3341 (BRASS) / OCR19R (PEX), (ALTERNATIVE) 1/4 TURN MODEL: G2CR19 (BRASS) / G2BRP19 (PEX) AS REQUIRED.
- PLUMBING CONTRACTOR SHALL INSTALL AIR ADMITTANCE VALVE IN LIEU OF VENT PIPING TO SERVE FIXTURES WHERE APPLICABLE.
- ADA LAVATORIES TO HAVE INSULATION KIT, WHITE, SELF FASTENING, FLEXIBLE VINYL FOR DRAIN TRAPS AND SUPPLY PIPING.
- EXPOSED PLUMBING MUST BE CHROME PLATED.

WATER CLOSET NOTES

- WATER CLOSETS IN PUBLIC AREAS MUST HAVE A TOILET SEAT WITH OPEN FRONT, NO LID.
- WHERE WATER CLOSETS ARE REQUIRED TO BE ADA ACCESSIBLE, THE TOILET SEAT HEIGHT MUST COMPLY WITH CURRENT FEDERAL ADA REQUIREMENTS.
- WHERE WATER CLOSETS ARE REQUIRED TO BE ADA ACCESSIBLE, PROVIDE RIGHT HAND OR LEFT HAND FLUSH VALVES TO ENSURE THAT THE FLUSH VALVE IS ON THE OPEN SIDE OF WATER CLOSET.
- INSTALL SHOCK ABSORBERS ON ALL FLUSH VALVE SYSTEMS WITH ISOLATION VALVE AND ACCESS DOOR FOR MAINTENANCE.

FAUCET NOTES

- ALL FAUCETS VALVE HANDLES SHALL BE PROVIDED WITH RED (HOT) AND BLUE (COLD) INDICATORS.
- FAUCETS IN PUBLIC AREAS MUST BE LEVER STYLE AND ADA COMPLIANT. ACRYLIC HANDLES OR KNOBS ARE NOT PERMITTED.

EQUIPMENT SCHEDULE																				
MARK	QTY	FIXTURE	MANUFACTURER	MODEL	PIPING SIZES							FLOW RATE GPM	DRAINAGE FIXTURE UNITS	ELECTRICAL				NOTES		
					GAS	MBH	COLD WATER	HOT WATER	DIRECT WASTE	INDIRECT WASTE	VENT			VOLTS	HP	MOP	WATTS			
FOOD PREP																				
A	1	BUNN FAST CUP	BUNN	#55400.0100											208		24	5000		
E	1	771 SLUSHIE MACHINE	FBD	TALL DOOR	CO2, N2, OR AIR			3/8"							2		215-245	20	3000	
F	1	774 SLUSHIE MACHINE	FBD	TALL DOOR				3/8"							2		215-245	30	5000	
H	1	SMOOTHE DISPENSER	FREAL	MINI BLENDING BAR					3/4" TUBE								120	15	1440	FREEZER REQUIRES SEPARATE 15A CIRCUIT FROM BLENDERS
	1	HAND LAVATORY (EXISTING)	BY OWNER	BY OWNER				1/2"	1/2"			2"		2	2					
	1	POT SINK - TRIPLE COMPARTMENT (EXISTING)	BY OWNER	BY OWNER				1/2"	1/2"			(3) 1 1/2"		2.5	2					WASTE TO FLOOR SINK
	1	PIZZA OVEN (EXISTING)	LINCOLN	1116-000-U-K1837	NG	40										120		15	840	
	1	PIZZA OVEN (EXISTING)	LINCOLN	1116-000-U-K1837	NG	40										120		15	840	



TRIUMPH

Triumph Engineering & Design, Inc.
 10775 S. SAGINAW ST.
 GRAND BLANC, MI 48439
 (PH) 810.584.7364
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 www.trumpheng.com



TYRONE PARTY STORE
 9485 CENTER ROAD
 TYRONE TOWNSHIP, LIVINGSTON COUNTY, MI.

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ISSUED FOR	DATE
OWNER REVIEW	12/01/2022
PERMITS	07/25/2023

DRAWN : RHN
 CHECKED : PGMc
 SCALE : PGMc
 JOB NO : TE-22-168
 SHEET TITLE :
 PLUMBING SCHEDULES
 SHEET
 P-101

RECEIVED

NOV 08 2023

TYRONE TOWNSHIP
PLANNING & ZONING

TYRONE TOWNSHIP
PLANNING COMMISSION REVIEW APPLICATION

Property Address / Location		Parcel ID/Zoning District
Tyrone Party Store at US-23 & Center Rd		4704- 17-400-006
Property Owner(s)		Telephone
Mike Wood		(810) 629-7701
Street Address		Cell Phone
9485 Center Road		(810) 691-7481
City	State and Zip code	FAX or E-Mail
Fenton (Tyrone Twp - Livingston Co)	Michigan 48430	mjwood@lcloud.com
Authorized Agent		Telephone
Triumph Engineering		(810) 584-7364
Street Address		Cell Phone
10775 S Saginaw St, Suite D		
City	State and Zip Code	
Grand Blanc	MI 48439	

Type of Review:

- | | | |
|--|--|--|
| <input type="checkbox"/> Boundary Realignment | <input type="checkbox"/> Open Space Relocation | <input checked="" type="checkbox"/> Site Plan Review |
| <input type="checkbox"/> Concept Review | <input type="checkbox"/> Private Road/Shared Drive | <input type="checkbox"/> Site Visit |
| <input type="checkbox"/> Conditional Zoning | <input type="checkbox"/> Planned Unit Development | <input checked="" type="checkbox"/> Special Land Use |
| <input type="checkbox"/> Home Occupation | <input type="checkbox"/> Public Hearing | <input type="checkbox"/> Special Meeting |
| <input type="checkbox"/> Land Division | <input type="checkbox"/> Rezoning | <input type="checkbox"/> Subcommittee Meeting |
| <input type="checkbox"/> Open Space Preservation | <input type="checkbox"/> Site Condominium | <input type="checkbox"/> Subdivision Plat |
| <input type="checkbox"/> Other | | |

Project Description:

To renovate the existing automotive repair garage into a new carry out facility. The existing carry out will be available for lease space.

Auto storage yard operations will continue.

Planning Commission applications should be filed with the Planning Commission Recording Secretary at least 14 days (21 days for land divisions/realignments) prior to review. Applications will not be scheduled for review until all information has been received. This Signature constitutes the applicant's acknowledgement of the application requirements and permission for site inspection by Tyrone Township representatives.

Mike Wood
Signature of Owner(s) or Authorized Agent

Date	Tax Status	Fees: 101-000000-607-006	Escrow: 701-000000-283-
11-8-23	paid per	CK# 35138	CK# 35135
Received By: KC	J.E. 11/8/23	\$1650	\$2000-



Carlisle | Wortman

ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

January 3, 2024

Preliminary Site Plan Review (Use Change) for Tyrone Township, Michigan



Applicant:	Michael Woods
Owner:	Michael Woods
Project Name:	Tyrone Party Store
Plan Date:	July 25, 2023
Location:	9485 Center Road Northwest corner of Center Road and Old US 23 Road (04-17-400-006)
Zoning:	ES – Expressway Service
Action Requested:	Amendment of an Approved Site Plan for Accessory Use to a Permitted Special Land Use

PROJECT NARRATIVE

The site is 1.62 acres. Onsite is a permitted auto service station / convenient store / gas station and special land use auto salvage yard. The applicant is requesting site plan approval to convert the existing auto service station into an expanded convenient store. If approved, the applicant will cease operations of auto services. It is unclear whether the auto salvage yard operations will cease along with the auto service use.

Per the Zoning Ordinance Section 23.13 Part E1 & E2, the change in use qualifies as a “Major Change”.

- 1. Concept. A change in the original concept of the development.*
- 2. Use or Character. A change in the original use or character of the development.*

Per Section 23.13 A “A change in an approved site plan which results in a major change shall require a site plan amendment. Amendments shall follow the procedures and conditions herein required for original site plan submittal and review. Any change shall require submittal of a revised site plan with a new date.”

Benjamin R. Carlisle, *President* John L. Enos, *Vice President* Douglas J. Lewan, *Principal*
 David Scurto, *Principal* Sally M. Elmiger, *Principal* R. Donald Wortman, *Principal* Craig Strong, *Principal*
 Paul Montagno, *Principal*, Megan Masson-Minock, *Principal*, Laura Kreps, *Principal*
 Richard K. Carlisle, *Past President/Senior Principal*

The purpose of a site plan review is to evaluate complete and necessary compliance with Township ordinances and other federal, state, and county laws and regulations to assess preliminary approval. Site plans are reviewed by the Planning Commission which makes a recommendation to the Township Board for approval.

Information required to be included in a site plan is outlined in Section 23 Site Plan Review and Impact Assessment. The Planning Commission may waive any site plan requirements they consider to be clearly unnecessary for substantial review. The Planning Commission may also grant a waiver for the Impact Assessment if it determines that there is not a significant potential impact on surrounding properties as a result of the proposed development.

Given the proposed use will be of a lesser intensity than the current uses, we do not feel an Impact Assessment is necessary.

This report identifies information that is required for site plan review. Information or changes necessary for site plan review are identified throughout the report, with information or changes and decisions for site plan approval identified in the summary at the end of this report.

Items to be Addressed: *It should be stated on the application whether the auto salvage yard operations will cease along with the auto service station. This determination may affect the recommendations of this review.*

SITE DESCRIPTION

Lot Area:	1.62 Acres
Frontage:	~250 feet along Center Road
Current Use:	Gas Station / Auto Service Station / Convenient Store / Storage Yard

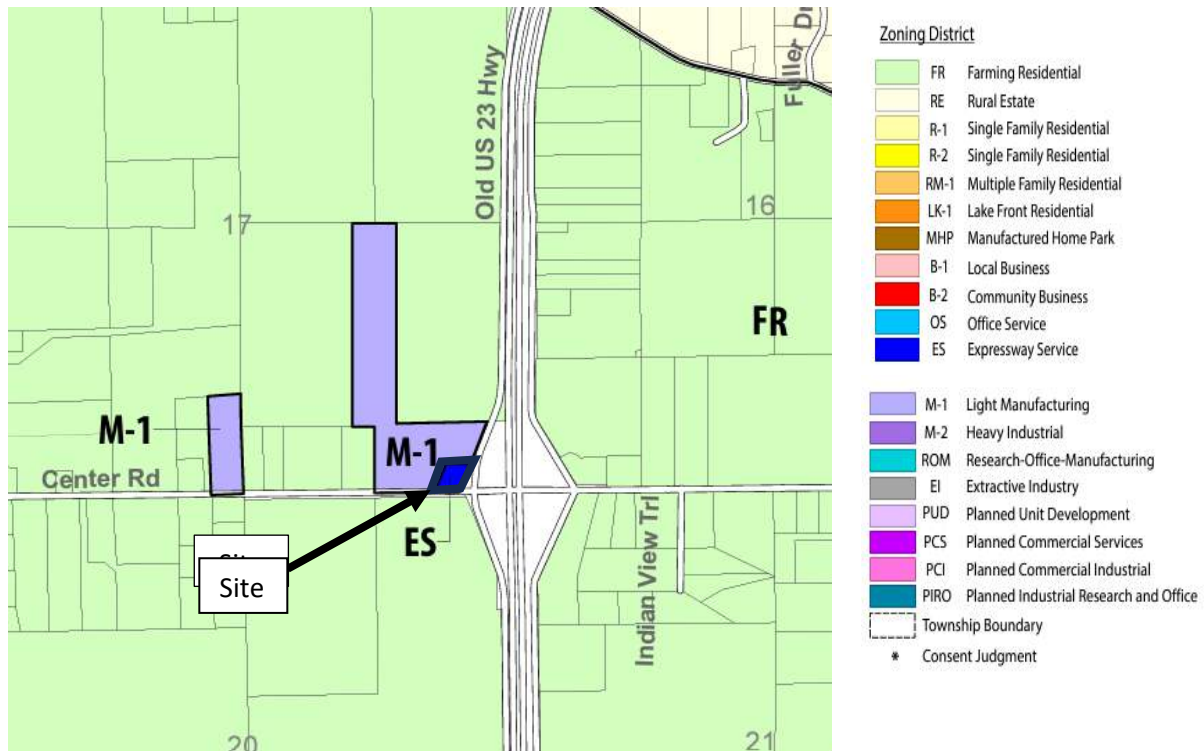
Aerial image of the site



Source: NearMap, Photo dated October 2nd, 2023

Existing Zoning:	ES Expressway Service <i>The ES expressway service districts are designed to provide for servicing the needs of highway traffic at expressway interchange areas. The avoidance of undue congestion on local roads, the promotion of smooth traffic flow at the interchange area, and the protection of adjacent properties in other zones from adverse influences of traffic are prime consideration in the application of this district. The following regulations shall apply to all ES districts, and no building, structure or premises, except as otherwise provided in this section shall be erected, altered, or used except for one or more of the following specified uses. Site plan review, as defined in Article 23, shall be required for, all uses in the ES district.</i>
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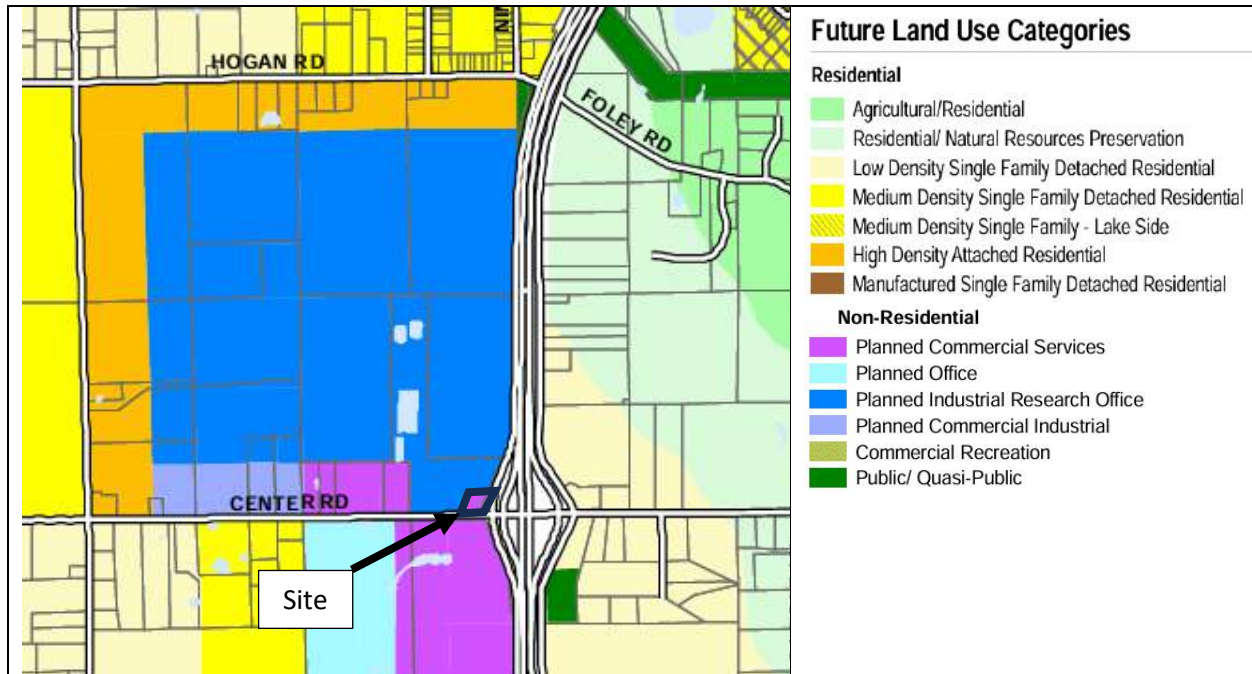
Current Zoning Map



Source: Tyrone Township Zoning Map, July 20, 2017

Future Land Use Map:	Planned Commercial Services
	<p><i>Commercial retail and service uses are intended to be located in a PUD environment. The uses may be individually sited in freestanding buildings, clustered in a larger commercial structure housing several uses under one roof such as a shopping center, or contained in a mixed-use building on a floor below any residential uses. It is recognized that new commercial uses may serve the Tyrone community or the travelers on U.S. 23 or both the community and highway travelers. The uses in this category require good access and are planned for locations abutting major thoroughfares. Local streets and residential neighborhoods are not appropriate locations. Regardless of whether the use is local or regional in scale, the site and attendant site facilities to service the use must be constructed consistent with the guidelines specified for planned development. The Future Land Use Map calls for Planned Commercial Services near the Center Road/U.S. 23 interchange, and also a small area along Old U.S. 23 near Dean Road.</i></p>

Future Land Use Map



Source: Tyrone Township Master Plan 2012

	North	East	South	West
Surrounding Zoning	<i>M-1 / Light Manufacturing</i>	<i>FR / Farming Residential</i>	<i>FR / Farming Residential</i>	<i>M-1 / Light Manufacturing</i>
Surrounding Land Uses	<i>Light Industrial</i>	<i>US 23 Highway ROW / Single Family Residential</i>	<i>Commercial Recreation / Golf Club</i>	<i>Light Industrial</i>
Future Land-Use Map	<i>Planned Industrial Research Office</i>	<i>Low Density Single Family Detached Residential</i>	<i>Planned Commercial Services</i>	<i>Planned Industrial Research Office</i>

Items to be Addressed: Aerial photos as well Sheet C3.0 indicate site parking and storage operations exceed the eastern lot line. We recommend site operations conform to property lot lines.

AREA, WIDTH, HEIGHT, SETBACKS

The proposed expansion of the building envelope is shown on the site plan. Measurements are taken from the property lines.

Developmental standards for the current zoning district are outlined below.

ES Expressway Service District Developmental Standards

	Required: ES	Proposed:	Complies
Setbacks			
Front	100 feet	78.5 feet	Yes
Side	20 feet	19.3 feet (west) Not Provided (east)	No Unknown
Rear	20 feet	63.6 feet	Yes
Building Height			
	30 feet	19 feet (using scale)	Unknown
Building Coverage			
	40 percent	6.9 percent	Yes

Items to be Addressed: 1.) The existing structure encroaches the west side yard setback. Documentation either through ZBA approval or pre-existing nonconformity needs to be submitted for review. 2.) The east side yard setback measurement must be added to sheet C3.0. 3.) Building height must be measured from grade to the mid-point between the eave and ridge and added to Sheet A1.3.

NATURAL RESOURCES

- Topography:** The site is relatively flat.
- Wetlands:** The site does not contain any wetlands.
- Woodland:** The site is clear of wooded areas.
- Soils:** The predominant soils are sandy loam and loam.
- Water:** This site does not contain any natural or manmade water features.

Items to be Addressed: None.

ACCESS & CIRCULATION

The site will continue to be accessed via the existing forty (40) foot wide access drive from Center Road, a paved county road, along the southern border of the site.

Existing parking consists of twenty (20) standard parking spaces and four (4) handicap parking spaces. Per Section 25.04 B, handicap spaces must be at least ninety-six (96) inches wide and be adjacent to an access aisle that is at least sixty (60) inches wide.

The current auto services related to the sale of fuel to vehicles has the following requirements per Section 25.11 C 3:

“Automobile Service, two (2) parking spaces for each lubrication stall, rack or pit and three (3) spaces for each one (1) fuel pump, plus two (2) stacking spaces per fuel pump plus one (1) per transport or towing vehicle and one (1) per employee.

The proposed use of an expanded convenient store (retail store) has the following parking requirements Per Section 25.11 C 24:

“Retail Store, one (1) parking space for every two hundred (200) square feet of usable floor area.”

	Required	Provided	Complies
Parking			
Automobile Service			
	Three (3) spaces for each one (1) fuel pump = 18 spaces	18	Yes
	Two (2) stacking spaces per fuel pump = 6 spaces	Unknown	Unknown
	One (1) per transport or towing vehicle = 0 spaces	N/A	N/A
	One (1) per employee = Unknown	Unknown	Unknown
Total	Unknown	24 spaces	Unknown
Retail Store			
	one (1) parking space for every two hundred (200) square feet of usable floor area = 15 spaces	0	No
Total	15 spaces	24 spaces	Unknown

Parking calculations are provided on Sheet C3.0 but use the retail store requirements for all usable square feet. However, gas stations are defined under “auto service station”, in the Zoning Ordinance. If the gas station operations are to remain, the calculations above show deficiencies. These cannot be accurately calculated as no peak employment information or vehicle stacking space was provided in the application.

Section 25.05 offers criteria under which joint parking uses are applicable. However, we do not feel these terms offer any options for the current proposed uses due to the requirement that uses for which the joint off-street parking facilities serve do not operate during the same hours of the day or night.

A loading area is not defined on the site plan. Per Section 25.03 D and Section 25.11, at least one loading space is required and not to be placed on the front side of a commercial or industrial building. There appears to be adequate area in the rear yard for delivery vehicles, if storage activities cease. It should be

determined whether the gate separating the parking area and storage area will remain as its presence will complicate rear yard deliveries.

The general condition of the paved lot is poor. Several areas have significant cracks and/or potholes. Cold patch is present in an attempt to remedy these items. However, drivers may be inclined to take indirect routes throughout the lot to avoid poor conditions, possibly leading to unsafe circulation on the site. Per Section 25.09, all paving in the parking facility shall be maintained to insure safe pedestrian movement, vehicular operation, adequate protection of adjoining properties and to present a neat and attractive appearance of the facility.

We defer to the Township Engineer and the Fire Chief on other comments related to site access and circulation.

Items to be Addressed: 1.) Handicap spaces must be the correct dimensions and shown on Sheet C3.0. 2.) Parking should be calculated based on auto service station as well as retail use. 3.) One (1) loading space must be added and shown on Sheet C3.0 per Section 25.03 D and Section 25.11 4.) Pavement repair to assure safe circulation on site

ESSENTIAL SERVICES & UTILITIES

Sheet C2.0 and C3.0 state that all utility locations have been obtained from field survey information and existing drawings, if available. The surveyor and/or engineer makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The statement also indicates that the exact locations of the shown utilities may not be accurate though they do certify that the utilities are located as accurately as possible given available information. The surveyor/engineer has not physically located the underground utilities.

Sheet C2.0 and C3.0 also note that per observations the site is currently supplied by or has access to the following public utilities: gas, electric and telephone either located adjacent to the subject site or within public road right-of-way.

A gas main is shown running approximately parallel to the east property line and entering the existing building. While the existing overhead electricity line is shown along Center Road, it is unclear where electrical service connects to the building.

The legend and color (yellow) used to show existing sewer infrastructure is blurred and difficult to identify on Sheet C2.0 and C3.0. Given the current operations, it is assumed the site has sufficient water/sewer service. However, a note should be added to Sheet C2.0 and C3.0 stating if the site is well/septic or public water/sewer. The sheet must also use colors and text that clearly identify infrastructure by name and location.

Sheet C2.0 and C3.0 state the property is zone "X" (areas of minimal flooding) of the flood insurance rate map community panel No. 26093C02250 which bears an effective date of September 8th, 2008 and is not in special flood hazard area.

We defer additional comments on essential services, utilities, and stormwater management to the Township Engineer.

Items to be Addressed: 1.) Confirmation that the proposed building expansion does not interfere with any overhead of underground water/sewer/storm lines and/or any underground or overhead electrical service. 2.) The placement and/or specifications of current utility infrastructure on Sheets C2.0 and C3.0 should be clearly legible and identifiable.

LANDSCAPING & SCREENING

Existing landscaping is shown on Sheets C2.0 and C3.0. No new landscaping is proposed. Section 21A.09 of the Zoning Ordinance states in consideration of the overall design and impact of a specific landscape plan, and in consideration of the amount of existing plant material to be retained on the site, the Planning Commission may modify the specific requirements described herein, provided that any such adjustment is consistent with the intent and purpose of that section and the Zoning Ordinance in general. In determining whether a modification is appropriate, the Planning Commission shall consider whether the following conditions exist:

- Topographic Features
- Parking
- Public Benefit

The existing plants are not labelled “to be saved” or “to be removed”. For the purposes of this review, we will consider all existing plant material and landscaping to be unaltered for the proposed addition.

Front Yard Requirements: Wherever front, side or rear yards adjacent to public rights-of-way are used for parking, either a berm or greenbelt shall be required to screen the parking from view of the road. The Planning Commission, in its sole discretion, shall determine whether a berm or greenbelt shall be required for each development proposal.

Right-of-Way	Adjacent Parking Spaces	Existing Conditions
Center Road	Three (3)	Rock wall and six (6) deciduous trees
N. Old US 23 Hwy	Nine (9)	None

The landscaping along North Old US 23 Hwy is not considered in this review because it is not on the applicants property.

The Planning Commission will need to determine if existing conditions fulfill this requirement.

Protective Screening Requirements: Protective screening in the form of a berm, greenbelt or obscuring wall shall be required wherever a nonresidential use in a business, office or industrial district abuts directly upon land zoned for residential or agricultural purposes. The Planning Commission, in its sole discretion, shall determine whether a berm, greenbelt or obscuring wall shall be used for protective screening.

Abutting Property Border	Zoned	Protective Screening Required
North	M-1	No
East	Right-of-Way	No
South	Right-of-Way	No
West	M-1	No

Though not required along any property line, the Planning Commission must determine if it will require landscaped screening along any portion of the property perimeter. It should be noted that no available space exists along the eastern property line for on-site landscaping.

Landscaping Adjacent to Roads: All front, side or rear yards adjacent to roads, including berm areas, shall be landscaped in accordance with the following schedules:

Type of Planting	Frequency (per front feet of road frontage)	Right-of-Way	Required	Provided	Complies
Deciduous tree	Per 40 feet or fraction thereof	Center Road (210 feet of frontage)	Five (5)	Six (6)	Yes
		N. Old US 23 Hwy (306 feet of frontage)	Eight (8)	None	No
Total			Thirteen (13)	Six (6)	No
Ornamental Tree	Per 100 feet or fraction thereof	Center Road (210 feet of frontage)	Two (2)	Unknown	Unknown
		N. Old US 23 Hwy (306 feet of frontage)	Three (3)	None	No
Total			Five (5)	Unknown	Unknown
Shrubs	Per 40 feet or fraction thereof	Center Road (210 feet of frontage)	Eight (8) minimum	None	No
		N. Old US 23 Hwy (306 feet of frontage)	Eight (8) minimum	None	No
Total			Sixteen (16)	None	No

It is unknown if any existing deciduous trees are also ornamental trees. Due to the site layout, no room exists to install landscaping required along N. Old US 23 Hwy.

There are twenty (20) existing evergreen trees along the northern half of the west property line. There are twenty-six (26) existing evergreen trees along the western half of the north property line. The Planning Commission will need to determine if it will require additional landscaping along Center Road and North Old US 23 Hwy.

General Landscaping Requirements: Section 21A.04 requires sites utilize grass and/or groundcover for all unpaved portions of a site. It also requires one (1) tree per three thousand (3,000) square feet or portion of any unpaved open area for which specific landscaping requirements within the Section do not apply. Below are notes on these requirements:

	Required	Provided	Complies
Unpaved Portions of the Site			
	All unpaved portions of site will be covered with grass and/or ground cover	Existing lawn/ground cover	Yes
Mixture of Trees			
	One (1) tree per three thousand (3,000) square feet of unpaved open space	Unknown	Unknown

The Planning Commission will need to determine if it will require information to calculate general landscaping requirements for one (1) tree per three-thousand (3,000) sqft of unpaved open surface.

Parking Lot Landscaping: Section 21A.04D provides details on required off-street parking landscaping requirements. Notes provided below:

	Required	Provided	Complies
Landscape Ratio			
	Fifteen (15) square feet of interior landscaping per parking space 15 square feet x 24 parking spaces = 360 square feet of interior landscaping	Unknown	Unknown
Minimum Area			
	Landscaped areas in parking lots shall be no less than five (5) feet wide in any dimension and no less than one hundred (100) square feet in area.	Unknown	Unknown
Required Plantings			
	Minimum of one (1) tree per three hundred (300) square feet or fraction thereof of the interior landscaped area.	Unknown	Unknown

Parking lot landscaping requirements are written to refer to parking lot islands or aiseways of which the current proposal has none. Sheet C3.0 indicates some landscaping near the entrance of the existing convenience store but no dimensions or plant specifications are provided.

All site parking is either aligned along existing structures or at the extents of the existing parking lot. Given the limited ability to add parking lot islands, per Section 21A.04D2, the Planning Commission may approve placement of the landscaped areas adjacent to a parking area when, in the sole opinion of the Planning Commission, such placement shall achieve the objectives of this section.

The Planning Commission will need to determine if existing landscaping adjacent to all parking areas fulfill this requirement.

Landscaping Variety: Section 21A.04I requires a variety of trees to be used throughout the site to prevent mass loss from disease.

Required Number of Trees	Minimum Number of Species	Complies
(All Existing) Thirteen (13) Deciduous Trees + Five (5) Ornamental Trees = Eighteen (18) Trees	Two (2)	Yes

Solid Waste Receptacles: Section 21A.11 requires all waste receptacles shall be enclosed by a wooden or masonry wall equal to the height of the receptacle or not less than five (5) feet high with an opaque lockable gate to prevent unsightly collection of refuse. The receptacle shall be located in the rear of the site unless prevented by topographic conditions. In all cases, the receptacles shall be located where it will be least visible from the public right-of-way and adjacent properties.

Sheet C3.0 shows an existing six (6) foot wood fence for the dumpster area. Gate specifications were not provided. The location of the dumpster does not comply with Section 21A.11 as the proposed location is in the side (west) yard and visible from Center Road. Given no topographic challenges, the receptacle should be relocated to the rear of the building.

Items to be Addressed: 1.) Dumpster gate specifications should be added to Sheet C3.0. 2.) The location of the dumpster should be moved to the rear of the building and shown on Sheet C3.0. 3.) Planning Commission will need to determine if existing conditions fulfill front yard landscaping requirements. 4.) Planning Commission will need to determine if it will require landscaped screening along any portion of the property perimeter. 5.) Planning Commission will need to determine if existing conditions fulfill landscaping adjacent to roads requirements. 6.) Planning Commission will need to determine if it will require information to calculate general landscaping requirements for one (1) tree per three-thousand (3,000) sqft of unpaved open surface 7.) Planning Commission will need to determine if existing landscaping adjacent to parking areas fulfill requirements.

LIGHTING

The site plan shown on Sheet C3.0 indicates two existing light poles located at opposite ends along the southern portion of the lot directed at parking areas. The light pole closest to North Old US 23 Hwy is not on the applicant's property. Building lighting is not indicated on site plans or building elevations. No photometric information, including footcandle measurements, was included in the site plan.

Section 21.37 states the Planning Commission shall require the submission of a photometric plan prepared by an electrical engineer, or other qualified expert, graphically illustrating the planned layout and foot candles of site lighting. A photometric plan may be required to ensure compliance with the above standards and that adequate light levels are provided on the site. The plan shall also indicate the type and heights of light fixtures proposed, the wattage proposed to be used, and all pertinent photometric information for the fixtures, site and project.

Items to be Addressed: A photometric plan showing the current site lighting should be added to the site plan to allow the Planning Commission to determine if additional or improved lighting is needed.

SIGNAGE

Sheet C3.0 shows the location of an existing sign. However, no structural or sign dimensions are provided. Table 27.1 of the Zoning Ordinance outlines permitted and non-permitted sign allowances and regulations per zoning district. Applicant has not stated whether new convenience store will require new freestanding or building wall signage.

Items to be Addressed: Applicant should refer to Section 27 of the zoning ordinance if/when existing signage is modified to accommodate the change in use.

ARCHITECTURAL STANDARDS

Per Section 23.18, site plans shall include information relating to certain architectural elements as it relates to the standards set forth in that section. Section 23.18F states where an addition is being proposed for an existing building, the existing facade materials may be used in the addition provided that the following criteria have been met:

1. The addition does not exceed one hundred (100) percent of the existing building floor area.
2. All new facades substantially constitute a continuation of the existing facades with respect to color, texture, size, height, and location of materials.
3. That the visual effect is to make the addition appear as part of the existing building.

It cannot be determined whether this site plan meets all requirements as no rear or side elevations with exterior construction materials has been provided. Sheet A1.3 provides basic exterior construction materials for the front elevation but only indicates color for the asphalt shingles. All other materials are to be specified by the owner. If all proposed materials are meant to constitute a continuation of the existing façade and the proposed addition is meant to appear as part of the existing building, this section would provide an exception from Section 23.18N requirements. To determine this, Sheet A1.3 should clarify if proposed infill exterior construction materials for all elevations will match existing exterior construction materials. Side and rear elevations showing the proposed addition and specifying exterior construction materials and their location should be provided on new sheets. The specifications for framing materials to be used for the new proposed double door entry are shown on Sheet A1.2 but are missing from Sheet A1.3 and should be added so all façade materials are shown on one sheet.

Two (2) Air Handling Units (AHU's) are shown on HVAC and Plumbing floor plans at the eastern end of the building. However, these units are not shown on Sheet C3.0. It should be clarified if these units are new and what their proposed location is as this equipment is typically found on rooftops. Mechanical equipment on rooftops must conform to Section 23.18C

An Architectural Review Committee shall review all proposed building materials and colors prior to a formal site plan review by the Planning Commission.

If the requirements in Section 21.38F are not fulfilled, Section 23.18N provides a Schedule Regulating Facades Materials. Sheet A1.3 provides finish materials stated as ledger stone veneer, metal staggered shaker siding and asphalt shingles (canopy and roof) but does not provide percentages associated with the amount of coverage. This information will need to be added to assess if the proposed materials and amounts confirm to Group 2 of the table.

Should the Planning Commission find the design and proposed materials sufficient, Section 23.18I offers a facade waiver. When a particular building design and the materials and colors or combination of materials and colors proposed to be used on the facade are found to be consistent with the intent and purpose of Section 23.18 but may differ from the strict application of this Section and the Schedule Regulating Facade Materials, the Planning Commission and Township Board shall consider such proposal as a waiver of these standards. Site plans and architectural plans for a waiver under this Section shall be

accompanied by a definitive description of the building design consisting of written statements which shall describe how the selected façade materials and/or colors and material combinations will be consistent with and will enhance the building design concept and how the materials and/or colors properly relate to the buildings in the surrounding area. The Planning Commission or Township Board may, as part of its review, request a report and recommendation from a professional design consultant as to the proposed waiver, and may establish a fee for this report.

Items to be Addressed: 1.) Color specifications for all materials should be provided on Sheet A1.3 in color print. 2.) To determine if Section 23.18F requirements have been fulfilled, Sheet A1.3 should note whether proposed infill exterior construction materials for all elevations will match existing exterior construction materials. Side and rear elevations showing the proposed addition as well as specifying exterior construction materials and their location should be added to the site plan. 3.) The specifications for framing materials to be used for the new proposed double door entry should be added to Sheet A1.3 4.) the Architectural Review Committee shall review all building materials prior to site plan approval. 5.) Building material façade finishes shown on Sheet A1.3 should include percentages of coverage as well as conformance to the materials specific in Section 23.18N Group 2 if Section 23.18F is not fulfilled. 6.) Mechanical equipment location must be shown on Sheet C3.0 as well as A1.3 to ensure proper placement and screening (if necessary).

SUMMARY

Given the request is to change the use of the site to less intense operations, we feel that the following issues need to be resolved before a recommendation of approval:


1. A clear statement from the applicant regarding the cease of operations for the auto salvage/storage yard
2. Decisions from the Planning Commission on the following waivers:
 - a. dumpster location
 - b. landscaping
 - c. proposed building materials

If the Planning Commission recommends approval of the site plan to the Township Board, we recommend the following conditions:

1. It should be stated on the application whether the auto salvage yard operations will cease along with the auto service station.
2. Site parking and storage operations exceed the eastern lot line. Future site operations should conform to property lot lines.
3. The existing structure encroaches the west side yard setback. Documentation either through ZBA approval or pre-existing nonconformity needs to be submitted for review.
4. The east side yard setback measurement must be added to sheet C3.0.
5. Building height must be measured from grade to the mid-point between the eave and ridge and added to Sheet A1.3.
6. Handicap spaces must be the correct dimensions and shown on Sheet C3.0.
7. Parking should be calculated based on auto service station as well as retail use.
8. One (1) loading space must be added and shown on Sheet C3.0 per Section 25.03D and 25.10.

9. Per Section 25.09, pavement repairs should be made to assure safe circulation on site.
10. Written confirmation should be provided stating the proposed building expansion does not interfere with any overhead or underground water/sewer/storm lines and/or any underground or overhead electrical services.
11. Existing utility infrastructure on Sheets C2.0 and C3.0 should be clearly legible and an identifiable color.
12. Dumpster gate specifications should be added to Sheet C3.0.
13. The location of the dumpster should be moved to the rear of the building and shown on Sheet C3.0.
14. Consider the power granted per Section 21A.09, the Planning Commission will need to determine if existing conditions fulfill front yard landscaping, landscaping screening along the property perimeter, unpaved open surface, landscaping adjacent to roads and landscaping adjacent to parking area requirements.
15. A photometric plan showing the current site lighting should be added to the site plan to allow the Planning Commission to determine if additional or improved lighting is needed.
16. Applicant should refer to Section 27 of the zoning ordinance if/when existing signage is modified to accommodate the change in use.
17. Color specifications for all materials should be provided on Sheet A1.3 in color print.
18. To determine if Section 23.18F requirements have been fulfilled, Sheet A1.3 should note whether proposed infill exterior construction materials for all elevations will match existing exterior construction materials. Side and rear elevations showing the proposed addition as well as specifying exterior construction materials and their location should be added to the site plan.
19. The specifications for framing materials to be used for the new proposed double door entry should be added to Sheet A1.3
20. The Architectural Review Committee shall review all building materials prior to site plan approval.
21. Building material façade finishes shown on Sheet A1.3 should include percentages of coverage as well as conformance to the materials specific in Section 23.18N Group 2 if Section 23.18F is not fulfilled.
22. Mechanical equipment location must be shown on Sheet C3.0 as well as A1.3 to ensure proper placement and screening (if necessary).

Respectfully submitted,


CARLISLE/WORTMAN ASSOC., INC
Megan Masson-Minock, AICP
Principal


CARLISLE/WORTMAN ASSOC., INC.
Matteo Passalacqua
Community Planner



TRIUMPH

Triumph Engineering & Design, Inc.

10775 S. Saginaw Street, Suite D | Grand Blanc, MI 48439 | Ph: 810-584-7364 | www.triumpheng.com

Jan 16, 2024

Responses to Township Review

Item #10 : The proposed building remodel involves an overhang located on the north side of the building to protect the cooler and condensing units. This overhang will not interfere with any existing overhead or underground water / sewer / storm lines and / or any underground or overhead electrical services.

Sincerely,

A handwritten signature in black ink, appearing to read "John D. Whitehead, P.E.", is written over a horizontal dashed line.

John D. Whitehead, P.E.



TRIUMPH

Triumph Engineering & Design, Inc.

10775 S. Saginaw Street, Suite D | Grand Blanc, MI 48439 | Ph: 810-584-7364 | www.triumpheng.com

Feb 14, 2024

Tyrone Party Store
9485 Center Road
Northwest corner of Center Road and Old US 23 Road
(04-17-400-006)

Responses to Township Review from Site Plan review Meeting January 3, 2024

1. It should be stated on the application whether the auto storage yard operations will cease along with the auto service station.

Owner will provide updated application.

2. Site parking and storage operations exceed the eastern lot line. Future site operations should conform to property lot lines.

Owner has provided MDOT letter to Township.

3. The existing structure encroaches the west side yard setback. Documentation either through ZBA approval or pre-existing nonconformity needs to be submitted for review.

Item has been waived.

4. The east side yard setback measurement must be added to sheet C3.0.

Sheet C3.0 has been updated.

5. Building height must be measured from grade to the mid-point between the eave and ridge and added to Sheet A1.3.

Sheet A1.3 has been updated.

6. Handicap spaces must be the correct dimensions and shown on Sheet C3.0.

Sheet C3.0 has been updated.



TRIUMPH

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10775 S. Saginaw Street, Suite D | Grand Blanc, MI 48439 | Ph: 810-584-7364 | www.triumpheng.com

7. Parking should be calculated based on auto service station as well as retail use.

Sheet C3.0 has been updated.

8. One (1) loading space must be added and shown on Sheet C3.0 per Section 25.03D and 25.10.

Sheet C3.0 has been updated.

9. Per Section 25.09, pavement repairs should be made to assure safe circulation on site.

Sheet C3.0 has been updated.

10. Written confirmation should be provided stating the proposed building expansion does not interfere with any overhead or underground water/sewer/storm lines and/or any underground or overhead electrical services.

See signed and sealed letter dated Jan 16, 2024 previously submitted.

Item #10 : The proposed building remodel involves an overhang located on the north side of the building to protect the cooler and condensing units. This overhang will not interfere with any existing overhead or underground water / sewer / storm lines and / or any underground or overhead electrical services.

11. Existing utility infrastructure on Sheets C2.0 and C3.0 should be clearly legible and an identifiable color.

Sheets C2.0 & C3.0 have been updated.

12. Dumpster gate specifications should be added to Sheet C3.0.

Sheet C3.0 has been updated.

13. The location of the dumpster should be moved to the rear of the building and shown on Sheet C3.0.

Sheet C3.0 has been updated.

14. Consider the power granted per Section 21A.09, the Planning Commission will need to determine if existing conditions fulfill front yard landscaping, landscaping screening along the property perimeter, unpaved open surface, landscaping adjacent to roads and landscaping adjacent to parking area requirements.

Item has been waived.



TRIUMPH

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10775 S. Saginaw Street, Suite D | Grand Blanc, MI 48439 | Ph: 810-584-7364 | www.triumpheng.com

15. A photometric plan showing the current site lighting should be added to the site plan to allow the Planning Commission to determine if additional or improved lighting is needed.

See Sheet C4.0

16. Applicant should refer to Section 27 of the zoning ordinance if/when existing signage is modified to accommodate the change in use.

Item has been waived.

17. Color specifications for all materials should be provided on Sheet A1.3 in color print.

See Sheets A1.2 & A1.3

18. To determine if Section 23.18F requirements have been fulfilled, Sheet A1.3 should note whether proposed infill exterior construction materials for all elevations will match existing exterior construction materials. Side and rear elevations showing the proposed addition as well as specifying exterior construction materials and their location should be added to the site plan.

See Sheets A1.2, A1.3 & A2.0.

19. The specifications for framing materials to be used for the new proposed double door entry should be added to Sheet A1.3

See Sheet A1.3

20. The Architectural Review Committee shall review all building materials prior to site plan approval.

Item has been waived.

21. Building material façade finishes shown on Sheet A1.3 should include percentages of coverage as well as conformance to the materials specific in Section 23.18N Group 2 if Section 23.18F is not fulfilled.

Item has been waived.

22. Mechanical equipment location must be shown on Sheet C3.0 as well as A1.3 to ensure proper placement and screening (if necessary).

See Sheet C3.0 & A1.3



TRIUMPH

Triumph Engineering & Design, Inc.

10775 S. Saginaw Street, Suite D | Grand Blanc, MI 48439 | Ph: 810-584-7364 | www.triumpheng.com

Sincerely,

A handwritten signature in black ink, appearing to read "John D. Whitehead, P.E.", written in a cursive style. The signature is positioned above the printed name.

John D. Whitehead, P.E.

Livingston County Road Commission

3535 Grand Oaks Drive • Howell, Michigan 48843-8675
Telephone: (517) 546-4260 • Facsimile: (517) 546-9628.
Internet Address: www.livingstonroads.org

October 20, 2011

Tyrone Township
10408 Center Road
Fenton, MI 48430

Re: Woody's Towing, Tyrone Township, Section 17

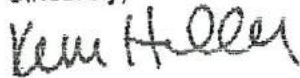
To whom it may concern:

We have been in contact with Mr. Woods with regard to his property at the northwest corner of Center Road and Old US 23. The email, dated November 2, 2009, from myself to Ms. Barbara Burch explains the LCRC's position about the parking area located within our right-of-way at this intersection.

The LCRC currently does not have any issues with the objects or parking lot located within our right-of-way since the sight distance at the intersection is not being obstructed. Mr. Woods has agreed to maintain the sight distance and to follow the LCRC's recommendation of using recovered Hot Mix Asphalt within our right-of-way for the parking area material.

If you have any questions, please do not hesitate to contact me.

Sincerely,



Kim Hiller, P.E.
Utilities and Permits Engineer

Cc: File

David R. Peckens • Chairman
Michael Craine • Managing Director

Stephen F. Crane • Vice Chairman
Jodie M. Tedesco • County Highway Engineer

John T. Dunleavy • Member
Steven J. Wasylk • Director of Operations

1 **TYRONE TOWNSHIP PLANNING COMMISSION**
2 **APPROVED REGULAR MEETING MINUTES**
3 **January 9, 2023 7:00 p.m.**

4
5 **This meeting was held at the Tyrone Township Hall**

6 **PRESENT:** Rich Erickson, Kurt Schulze, Jon Ward, Steve Krause, Bill Wood, Kevin Ross, & Garrett
7 Ladd

8 **ALSO PRESENT:** Ross Nicholson & Matteo Passalacqua

9 Chairman Rich Erickson called the meeting to order at 7:00 p.m.

10 **APPROVAL OF THE AGENDA:** Approved the agenda as presented.

11 **APPROVAL OF THE MINUTES:**

12 1) November 12, 2023 – approved as presented.

13 **CALL TO THE PUBLIC:** Public comments were received.

14 **NEW BUSINESS:**

15 **2) Election of Officers**

16 Rich Erickson stepped down as Chairman of the Planning Commission. Steve Krause was nominated
17 and elected as the new Planning Commission Chairman. The remaining officer positions will remain
18 in effect until the next election of officers.

19 **OLD BUSINESS:**

20 **1) Master Plan:**

21
22 There was no new input from any of the neighboring communities or utility companies regarding
23 the Master Plan. The next step is to send it to the Livingston County Planning Commission (LCPC)
24 for their review before forwarding it to the Township Board. A public hearing will be held
25 regarding the Master Plan; any necessary changes will be made and then it will be sent to the LCPC
26 for review Commissioner Jon Ward moved to hold a public hearing for the Master Plan at the next
27 regular meeting scheduled for February 13, 2024. Chairman Steve Krause supported. The motion
28 carried (all ayes).

29
30 **2) Solar (Utility Scale):**

31 Attorney Laura Genovich of Foster Swift was present to assist with legal advice regarding the solar
32 ordinance. The Planning Commission and Planner reviewed and discussed the latest draft ordinance.
33 Several revisions were suggested. The attorney discussed the new Public Act 233. She felt that the
34 Planning Commission and their consultant had done well on the draft. She also felt there should be a
35 separate battery storage ordinance. It was requested that the draft be modified according to the

1 suggestions from the Attorney and reviewed at the next regular meeting. After the revised draft is
2 reviewed at the next regular meeting, a public hearing can be scheduled.

3 **NEW BUSINESS:**

4 **1) Tyrone Party Store Site Plan Amendment**

5 The Planning Commission and Planner discussed the application for the proposed site plan
6 amendment with the authorized agent for the applicant. The applicant intends to eliminate the
7 garage/auto portion of the business. The old garage will become the new party store
8 . The gas station will still be in operation. It was noted that the building sits closer to the west side
9 lot line than permitted in the zoning district (should be 20 feet, it is 19.3 feet). It was determined this
10 would not be an issue as it was previously approved by the Planning Commission and the Township
11 Board. The Planning Commission provided direction to the agent to revise the site plan and
12 application documents. Some items that needed addressing were parking, a loading area,
13 handicapped spaces, landscaping, utilities, lighting, signage, and waste receptacles. The Planning
14 Commission recommended approval of the proposed site plan amendment with conditions.
15 Conditions placed on the recommendation will be reviewed and confirmed to be fulfilled by the
16 Planning Commission Subcommittee before sending the formal recommendation to the Township
17 Board.

18 **CALL TO THE PUBLIC:** Public comments were received.

19 **MISCELLANEOUS BUSINESS:** The January Workshop was cancelled.

20 **ADJOURNMENT:** The meeting was adjourned at 9:03 p.m.
21
22

NEW BUSINESS #2

REU bulk purchase and Livingston County purchase offer.

REU BULK PURCHASE OPTIONS

PROPOSED OPTION A

50-100 REU'S \$1,000 discount ea.

101- 200 REU'S \$1500 discount ea.

201-300 REU'S \$2000 discount ea.

300-400 REU's \$2500 discount ea.

400-500 REU's \$3000 discount ea.

Other options?



Livingston County
Department of Public Works
2300 E. Grand River, Suite 105
Howell, Michigan 48843-7581
Phone (517) 546-7150 Fax (517) 545-9658



Department of Public Works

Livingston County, Michigan

Preliminary discussion for the purchase of 513 REU's

Dear Honorable members of Tyrone Township board. As you are aware, Livingston County is seeking to purchase capacity in the transmission line within Tyrone Township in order to serve the Septage Receiving Station (SRS). In the past, the facility has utilized a combination of purchased and “rented” capacity from Hartland Township. Unfortunately, the available capacity within the transmission line serving Hartland Twp has mostly been sold to property owners within their service area. This document is to serve as a starting point for discussion on ensuring discharge capacity for the SRS into the future and is not a formal offer by Livingston County. We must still go through the Board of Public Works and the Livingston County Board of Commissioners, as owners of the system, for approval before any sort of agreement can be finalized. This document is an effort to elicit some thought and promote discussions with the Tyrone Township Board regarding purchase of REU's by Livingston County for the purpose of accommodating the SRS.

Based on our budget calculations, the following proposal options reflect a possible scenario that preserves the financial integrity of the SRS.

- Initial bulk purchase of 263 REU's at a cost of \$2,500,000.00.
- We request reserving 250 REUs for the SRS in addition as an option which would be sold at the “going rate” at the time of purchase.
- The REU's purchased by Livingston County shall be transferred from Tyrone Townships 185 Agreement to Hartland Townships 185 Agreement, adjusting the overall allotment of REUs between each township.

Pro's associated with this purchase of capacity.

- Protection of our natural resources by continued ban on land application of septage, which we can have because of our septage receiving station.

- From our understanding the proposed initial bulk purchase offsets debt within Tyrone Townships general fund from a loan to Tyrone Townships Sewer fund.
- Elimination of \$60 debt service fee on Tyrone Township LRSS Residents quarterly sewer bill, equating to roughly \$240.00 per year in savings to the user.
- Our preliminary calculations indicate that the increased injection of RTS charges into the system would lower the RTS of all users in the LRSS by roughly \$6.47 per quarter, or \$28.88 per year in savings to the user.

We appreciate your consideration and look forward to working with you now and in the future. We feel strongly that working through this issue, and our cooperative efforts together, will undoubtedly assist in meeting future challenges we most assuredly will face.

NEW BUSINESS #3

Final 2023-2024 budget amendment.

Proposed Budget Amendments by Fund for Fiscal Year 2023/2024

Fund	Department	Account No.	Account Name	Current Budget	Current Balance as of 3/19/24	Suggested Amendment
GENERAL FUND	ASSESSOR	101-257-900.000	PRINTING & PUBLISHING	\$ 400.00	\$ 3,147.95	\$ 6,000.00
GENERAL FUND	ORDINANCE	101-724-805.005	LEGAL FEES -ORDINANCE	\$ 15,000.00	\$ 16,327.79	\$ 17,000.00
SHANNON GLEN RUBISH REMOVAL FUND		225-528-811.000	TRASH/RUBBISH REMOVAL	\$ 6,305.00	\$ 6,400.39	\$ 6,405.00
IRISH HILLS ROAD IMPROVEMENT DEBT FUND		865-906-993.000	BOND INTEREST EXPENSE	\$ 17,726.00	\$ 18,086.25	\$ 18,087.00
SEWER O&M FUND		590-536-956.000	BANK SERVICE CHARGE	\$ 1,000.00	\$ 1,100.00	\$ 1,500.00

NEW BUSINESS #4

Request to award fire well contract.

Spicer Group, Inc.
 30300 Telegraph Rd.
 Suite 100
 Bingham Farms, MI 48025
 TEL (517) 375-9449
 www.SpicerGroup.com

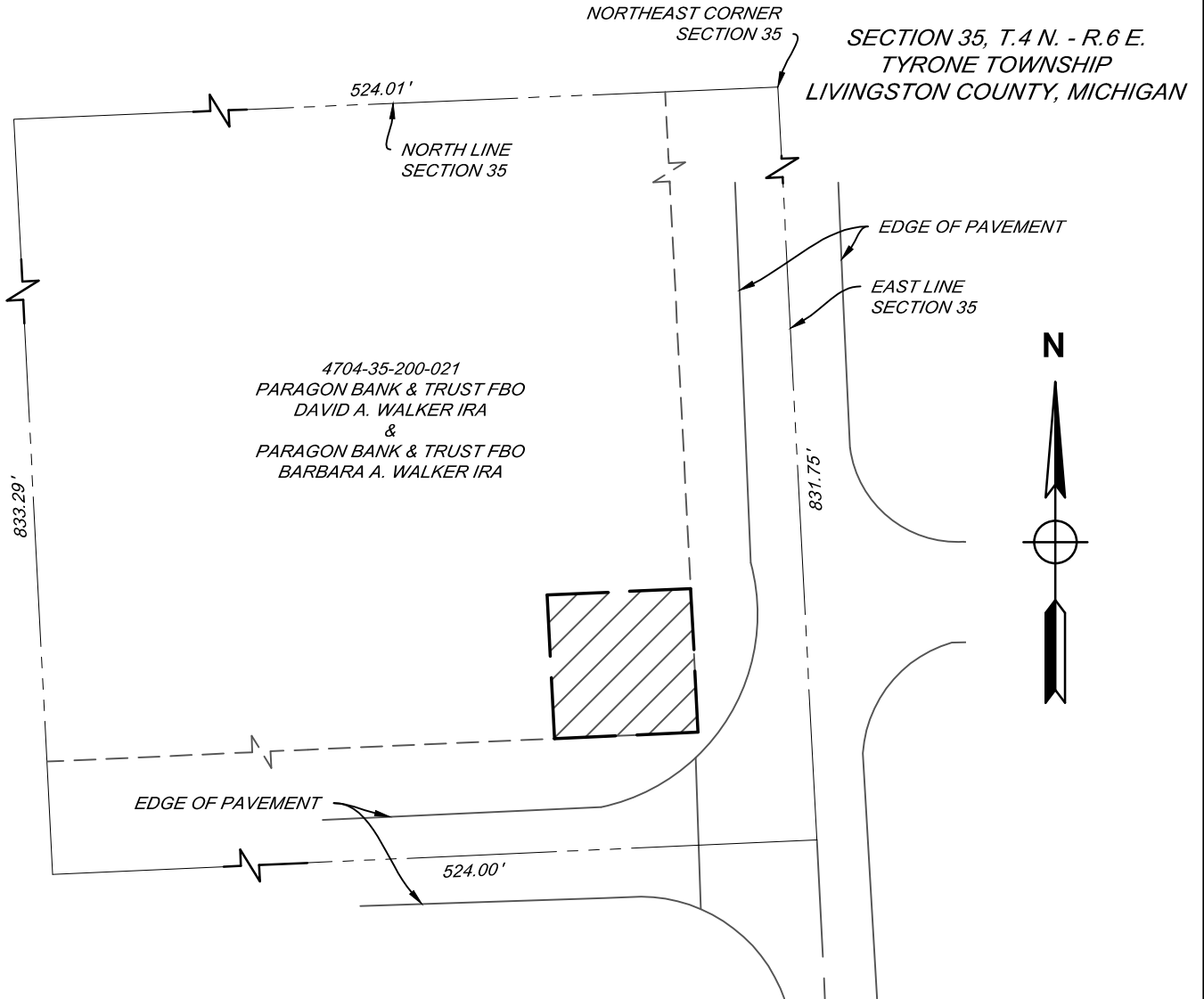


EXHIBIT A

EASEMENT

SCALE: 1" = 50'

DWG. NO.: A-29101



4704-35-200-021
 PARAGON BANK & TRUST FBO
 DAVID A. WALKER IRA
 &
 PARAGON BANK & TRUST FBO
 BARBARA A. WALKER IRA

LEGEND



TAX ID: 4704-35-200-021
 OWNER NAME: Paragon Bank & Trust fbo David A. Walker IRA
 Paragon Bank & Trust fbo Barbara A. Walker IRA
 PROPERTY: 6501 Denton Hill Road
 Fenton, Michigan 48430
 DATE: 07-20-23

PARENT PARCEL DESCRIPTION (PER DEED RECORDED IN #2008R-026942):

A part of the Northeast quarter of Section 35, T.4 N., R.6 E., Tyrone Township, Livingston County, Michigan, described as follows: Beginning at the Northeast corner of said Section 35; thence South 831.75 feet along the East line of Section 35; thence N.89°-37'-40"W., 524.00 feet along the centerline of a 66 foot wide road easement; thence North 833.29 feet to the North line of said section; thence S.89°-27'-30"E., 524.01 feet to the point of beginning. Subject to and including the use of a 66 foot wide private road easement for ingress and egress, the Northerly 33 feet of which goes across the above described parcel, the centerline of which is described as follows: Beginning at a point on the centerline of Fenton Road and section line South 831.75 feet from the Northeast corner of said Section 35; running thence N.89°-37'-40"W., 524.00 feet along said centerline of a 66 foot wide private road easement to end at a point on the West line of the above described parcel.

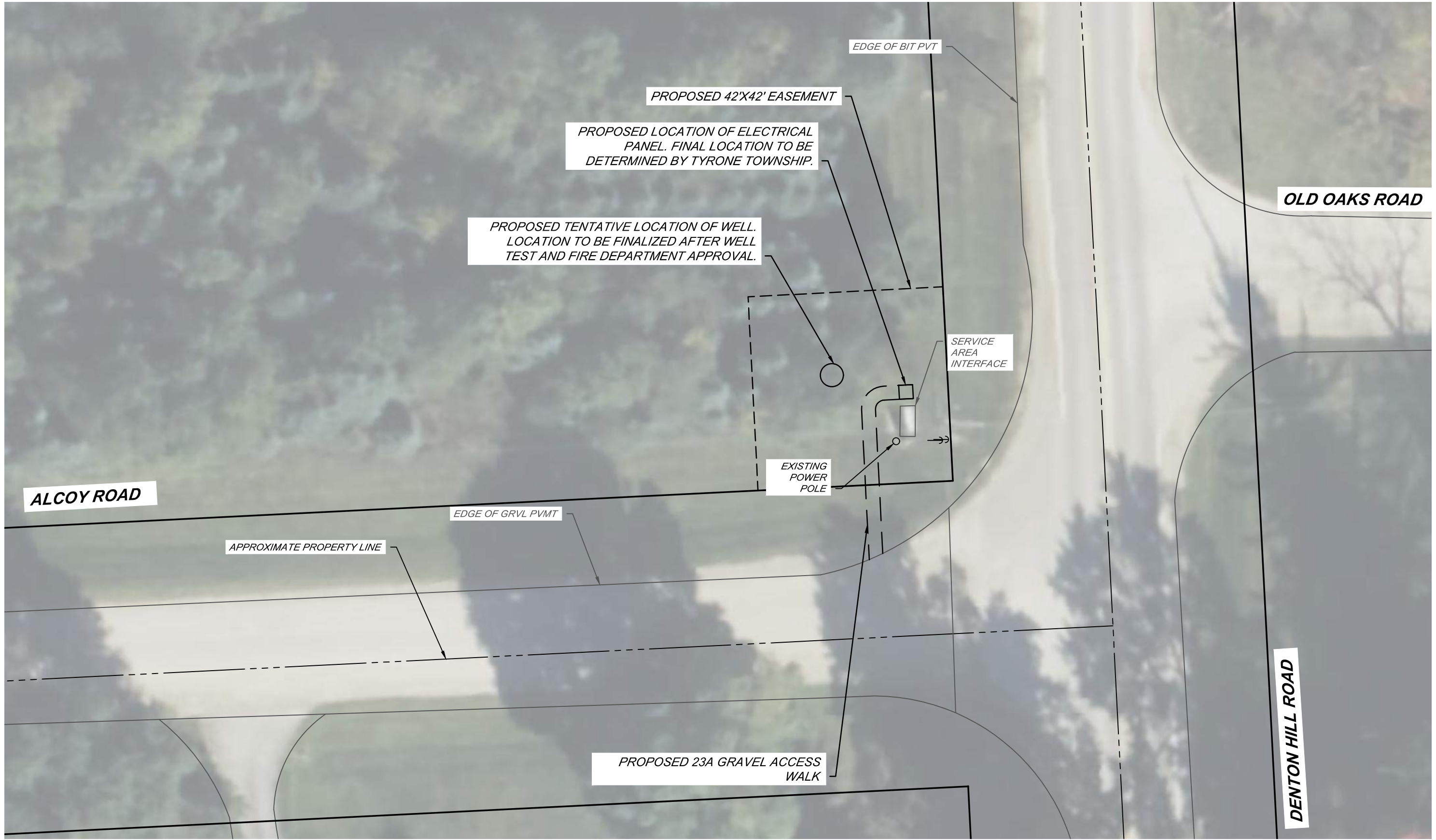
EASEMENT DESCRIPTION:

The North 42.00 feet of the South 75.00 feet of the West 42.00 feet of the East 75.00 feet of the following described parcel: A part of the Northeast quarter of Section 35, T.4 N., R.6 E., Tyrone Township, Livingston County, Michigan, described as follows: Beginning at the Northeast corner of said Section 35; thence South 831.75 feet along the East line of Section 35; thence N.89°-37'-40"W., 524.00 feet along the centerline of a 66 foot wide road easement; thence North 833.29 feet to the North line of said section; thence S.89°-27'-30"E., 524.01 feet to the point of beginning, containing 1,764 square feet of land, more or less.

DRAWN BY: MLW
 CHECKED BY: DMW

PLOT DATE: 07-20-23
 SHEET 1 OF 1

JOB#: 134653SG2023
 DWG#: A-29101

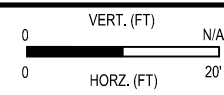


7/31/2023 2:45 PM dlsie.jrgensen

FINAL PLAN REVISIONS			
NO.	DATE	AUTH	DESCRIPTION



SAGINAW OFFICE
 230 S. Washington Ave.
 Saginaw, MI 48607
 Tel: 989-754-4717
 Fax: 989-754-4440
 www.SpicerGroup.com



SGI PROJECT NO:	134653SG2023
DATE:	JULY, 2023
FILE:	03_SITE PLAN.DWG

CS:	CS
JN:	JN

FIRE PROTECTION WELL	
TYRONE TOWNSHIP	
LIVINGSTON COUNTY, MICHIGAN	

DRAWING	SHEET
DWGTTL	1



3620 Groveland rd Ortonville Mi 48462
 nlayman@celayman.com
 www.celayman.com
 248.627.2016

Estimate

For: Tyrone Township Fire Department

1526

Date: 12/18/2023

Job location Tyrone Fire Well - Denton Hill Rd. and Alcoy Dr Tyron twp - Parcel # 4704-35-200-021

Description	Quantity	Rate	Amount
Test Hole (smaller bore using same hole prior to larger bit) 120 @ \$11.00/ foot	120	\$11.00	\$1,320.00
8" PVC Well (up to 120' deep, 100' min charge & 57\$ / foot if over 120')	120	\$57.00	\$6,840.00
Stainless steel screen 10' (additional may be necessary depending on formation available)	1	\$2,996.00	\$2,996.00
Gravel Pack - (priced per bag, additional may be needed)	20	\$22.00	\$440.00
Franklin Electric 20 HP Deluxe Controller VFD with Soft start (1 phase 240v in 3 phase 240v out)	1	\$13,196.00	\$13,196.00
20 HP 3 phase motor 220v	1	\$5,496.00	\$5,496.00
500 GPM Wet end 4" Discharge (pumping end)	1	\$5,810.00	\$5,810.00
4" Certa Lock Drop pipe	1	\$3,598.00	\$3,598.00
4" Certa Lock Couplings	1	\$479.00	\$479.00
4" Certa Lock Check Valve	1	\$1,229.00	\$1,229.00
4" Certa Lock adapter stainless / male	2	\$349.00	\$698.00
4" tee	1	\$396.00	\$396.00
4" Plug	1	\$165.00	\$165.00
4" Nipple 6"	1	\$129.00	\$129.00
8/3 Submersible wiring w/ ground	1	\$1,398.00	\$1,398.00
8x4 well seal / vented	1	\$296.00	\$296.00

Description	Quantity	Rate	Amount
Heat shrink kits / electrical adapters	1	\$225.00	\$225.00
Well Permit fee Health Department	1	\$350.00	\$350.00
Well Development (price per hour additional may be needed)	4	\$120.00	\$480.00
Installation of pump / drop pipe / well seal / wiring etc	1	\$900.00	\$900.00
5" Stortz fittings & storz plug	1	\$449.00	\$449.00
6"x2' Nipple	1	\$110.00	\$110.00
Installation / Labor / Crane (pump hoist)	1	\$2,500.00	\$2,500.00
Electrical enclosure uni strut framing installed w/ permits	1	\$5,239.00	\$5,239.00
Grouting well / Bentonite	1	\$525.00	\$525.00
Lighting Installed above controls (Recommended)	1	\$550.00	\$550.00
Pressure relief valve	1	\$239.00	\$239.00
Removal of cuttings, grading around well / unistrut , grass seed	1	\$1,500.00	\$1,500.00
Gravel walking pad around well 3' Wide 23A Gravel Compacted To well controls up to 15' Long	1	\$1,500.00	\$1,500.00
Note this is an estimate only. ANY additional material or labor needed to complete job will be extra charge. We cannot guarantee water volume. This DOES NOT include incoming power from DTE / Consumers to location of well / unistrut / or meter.	1	\$0.00	\$0.00
*BE ADVISED COMPLETE SYSTEM SET UP TO BE MAINTENANCE FREE YEAR ROUND USING ALL CORROSION FREE MATERIAL WHICH ARE DESIGNED TO SAVE MONEY OVER TIME INCLUDING CERTA LOCK DROP PIPE (VS GALVANIZED WHICH WILL CORRODE) THIS ESTIMATE ALSO ALLOWS US TO USE SAME BORE HOLE AS SUPPRESSION WELL WITH SMALLER SIZED DRILL BIT SAVING PERMIT FEES AS WELL AS COSTS ASSOCIATED WITH WELL ABANDONMENT. WE INCLUDE LIGHTING ON PANEL WHICH IS HIGHLY RECOMMENDED. WE HAVE DRILLED THESE WELLS FOR NOCFA, GROVELAND, BRANDON AND OXFORD FIRE DEPARTMENTS - REFERENCES CAN BE INCLUDED ALONG WITH PICTURES OF THE PROJECTS WE HAVE COMPLETED *	1	\$0.00	\$0.00
		Subtotal	\$59,053.00
		Total	\$59,053.00

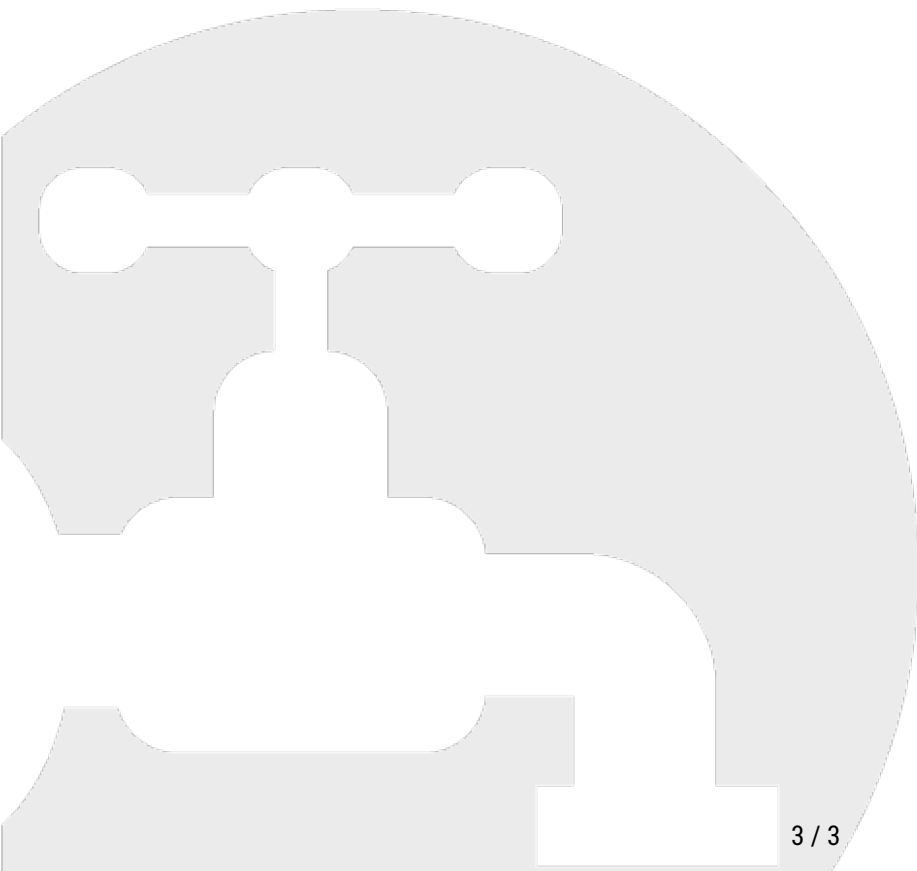
Total \$59,053.00

Comments

Thank you for your business!

C.E Layman & Son Well Drilling
Inc.

Client's signature





February 23, 2024

Mike Cunningham
Supervisor
Tyrone Township
8420 Runyan Lake Road
Fenton, Michigan 48430

RE: Tyrone Township Fire Suppression Well
VIA EMAIL

John,

We received two quotes for this project, for the following prices:

C.E. Layman & Son Well Drilling, Inc	Cribley Drilling Co., Inc
\$59,053.00	\$195,480.50

We recommend the award of Tyrone Fire Suppression Well to C.E. Layman & Son Well Drilling, Inc at the unit prices quoted which, when applied to estimated quantities, result in a total quote of fifty-nine thousand fifty-three dollars and zero cents (**\$59,053.00**). C.E. Layman has done numerous similar projects in the region and previous clients have been satisfied with their work.

The quote for C.E. Layman is attached. At the request of the Township, Spicer Group, Inc will obtain the necessary insurances and bonding documents.

If you have any questions or comments, please contact me at (517)-375-9449

Sincerely,

Philip Westmoreland, P.E.
Principal
SPICER GROUP, INC
125 Helle Blvd, Suite 2
Dundee, MI 48131
E-mail: philaw@spicergroup.com

Copy: SGI File 134653SG2023

NEW BUSINESS #5

Resolution to extend the solar energy moratorium.

RESOLUTION #2403xx
TYRONE TOWNSHIP, LIVINGSTON COUNTY

SECOND EXTENSION OF MORATORIUM ON SOLAR PROJECTS

WHEREAS, the Michigan Zoning Enabling Act, 2006 P.A. being MCL 125.3101 et seq., authorizes Tyrone Township (the "Township") to adopt reasonable regulations to control the establishment and use of Commercial Large Scale Solar Energy Systems in accordance with the Township's Master Plan; and

WHEREAS, the Township has become aware of an increase of Commercial Large Scale Solar Energy Systems in the region, which is an emerging land use not sufficiently contemplated in the current Master Plan nor by the current zoning for anywhere in the Township; and

WHEREAS, the Tyrone Township is beginning the process of reviewing the Master Plan and its zoning for the purpose of updating it to include recognition of Commercial Large Scale Solar Energy Systems in the Township as an emerging land use in the region; and

WHEREAS, integration of Commercial Large Scale Solar Energy Systems land use within the Township's existing land uses requires suitable regulations and controls to ensure compliance with the Township's Master Plan, among other things, by preserving agricultural property, and for the protection of general health, safety and welfare of all of the Township's residents;

WHEREAS, this Board believes it is prudent and wise in light of the emergence of Commercial Large Scale Solar Energy Systems land uses in the region, to assure proper locating and regulation of these land uses in the Township and must consider this Resolution for Moratorium on Commercial Large Scale Solar Energy Systems so as to better protect the public health, safety, and Welfare of Township residents; and

WHEREAS, imposing a moratorium, on a limited temporary basis, is reasonable and necessary in order to allow the Township to fully explore, analyze, research and develop proposed amendments to the Master Plan and the Township Zoning Ordinance, and to make recommendations to the Township Board regarding such amendments applicable to Commercial Large Scale Solar Energy Systems uses in the Township; and

WHEREAS, the Tyrone Township Board previously adopted a moratorium for six (6) months by Resolution #230402 and which expired on October 4, 2023, and

WHEREAS, the Tyrone Township Board extended that moratorium for an additional six (6) months by Resolution #231001 and which expires April 4, 2024.

NOW THEREFORE BE IT RESOLVED, a moratorium is hereby imposed upon the issuance of any and all permits, licenses, or approvals for any property subject to or under the jurisdiction of the Township's Zoning Ordinance for the establishment or use of any new Commercial Large Scale Solar Energy Systems uses in the Township. The moratorium imposed by this Resolution is for a six (6) month period, which expires October 4, 2024, or until Commercial Large Scale Solar Energy Systems regulatory amendments to the Township's Zoning Ordinance become effective, whichever occurs first. Before this moratorium expires, the Township may by resolution extend the moratorium for up to six (6) months to allow sufficient time to complete amendments to its Master Plan and Zoning Ordinance, if necessary. If an extension is adopted, the Township will publish notice of the extension.

RESOLVED BY:
SUPPORTED BY:

VOTE:
ADOPTION DATE: March 26, 2024

CERTIFICATION OF THE CLERK

The undersigned, being the duly qualified and acting Clerk of Tyrone Township, Livingston County, Michigan, hereby certifies that (1) the foregoing is a true and complete copy of a resolution adopted by the Township Board at a regular meeting, held on March 26, 2024, at which meeting a quorum was present and remained throughout, (2) the original thereof is on file in the records in my office, (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended) and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Pamela Moughler
Township Clerk

NEW BUSINESS #6

Resolution for moratorium on wind projects.

RESOLUTION #2403xx
TYRONE TOWNSHIP, LIVINGSTON COUNTY

MORATORIUM ON WIND ENERGY PROJECTS

WHEREAS, the Michigan Zoning Enabling Act, 2006 P.A. being MCL 125.3101 et seq., authorizes Tyrone Township (the "Township") to adopt reasonable regulations to control the establishment and use of Commercial Large Scale Wind Energy Systems in accordance with the Township's Master Plan; and

WHEREAS, the Township has become aware of an increase of Commercial Large Scale Wind Energy Systems in the region, which is an emerging land use not sufficiently contemplated in the current Master Plan nor by the current zoning for anywhere in the Township; and

WHEREAS, the Tyrone Township is in the process of reviewing the Master Plan and its zoning for the purpose of updating it to include recognition of Commercial Large Scale Wind Energy Systems in the Township as an emerging land use in the region; and

WHEREAS, integration of Commercial Large Scale Wind Energy Systems land use within the Township's existing land uses requires suitable regulations and controls to ensure compliance with the Township's Master Plan, among other things, by preserving agricultural property, and for the protection of general health, safety and welfare of all of the Township's residents;

WHEREAS, this Board believes it is prudent and wise in light of the emergence of Commercial Large Scale Wind Energy Systems land uses in the region, to assure proper locating and regulation of these land uses in the Township and must consider this Resolution for Moratorium on Commercial Large Scale Wind Energy Systems so as to better protect the public health, safety, and Welfare of Township residents; and

WHEREAS, imposing a moratorium, on a limited temporary basis, is reasonable and necessary in order to allow the Township to fully explore, analyze, research and develop proposed amendments to the Master Plan and the Township Zoning Ordinance, and to make recommendations to the Township Board regarding such amendments applicable to Commercial Large Scale Wind Energy Systems uses in the Township; and

NOW THEREFORE BE IT RESOLVED, a moratorium Is hereby imposed upon the issuance of any and all permits, licenses, or approvals for any property subject to or under the jurisdiction of the Township's Zoning Ordinance for the establishment or use of any new Commercial Large Scale Wind Energy Systems uses in the Township. The moratorium imposed

by this Resolution shall remain in effect for six (6) months following the effective date of this Resolution, or until Commercial Large Scale Wind Energy Systems regulatory amendments to the Township's Zoning Ordinance become effective, whichever occurs first. Before this moratorium expires, the Township may by resolution extend the moratorium for up to six (6) months to allow sufficient time to complete amendments to its Master Plan and Zoning Ordinance, if necessary. If an extension is adopted, the Township will publish notice of the extension.

RESOLVED BY:
SUPPORTED BY:

VOTE:

ADOPTION DATE: March 26, 2024

CERTIFICATION OF THE CLERK

The undersigned, being the duly qualified and acting Clerk of Tyrone Township, Livingston County, Michigan, hereby certifies that (1) the foregoing is a true and complete copy of a resolution adopted by the Township Board at a regular meeting, held on March 26, 2024, at which meeting a quorum was present and remained throughout, (2) the original thereof is on file in the records in my office, (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended) and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Pam Moughler
Township Clerk

NEW BUSINESS #7

Resolution for moratorium on battery storage systems.

RESOLUTION #2403xx
TYRONE TOWNSHIP, LIVINGSTON COUNTY

RESOLUTION FOR MORATORIUM ON BATTERY STORAGE SYSTEMS

WHEREAS, the Michigan Zoning Enabling Act, 2006 P.A. being MCL 125.3101 et seq., authorizes Tyrone Township (the "Township") to adopt reasonable regulations to control the establishment and use of Commercial Large Scale Battery Storage Systems in accordance with the Township's Master Plan; and

WHEREAS, the Township has become aware of an increase of Commercial Large Scale Battery Storage Systems in the region, which is an emerging land use not sufficiently contemplated in the current Master Plan nor by the current zoning for anywhere in the Township; and

WHEREAS, the Tyrone Township is in the process of reviewing the Master Plan and its zoning for the purpose of updating it to include recognition of Commercial Large Scale Battery Storage Systems in the Township as an emerging land use in the region; and

WHEREAS, integration of Commercial Large Scale Battery Storage Systems land use within the Township's existing land uses requires suitable regulations and controls to ensure compliance with the Township's Master Plan, among other things, by preserving agricultural property, and for the protection of general health, safety and welfare of all of the Township's residents;

WHEREAS, this Board believes it is prudent and wise in light of the emergence of Commercial Large Scale Battery Storage Systems land uses in the region, to assure proper locating and regulation of these land uses in the Township and must consider this Resolution for Moratorium on Commercial Large Scale Battery Storage Systems so as to better protect the public health, safety, and Welfare of Township residents; and

WHEREAS, imposing a moratorium, on a limited temporary basis, is reasonable and necessary in order to allow the Township to fully explore, analyze, research and develop proposed amendments to the Master Plan and the Township Zoning Ordinance, and to make recommendations to the Township Board regarding such amendments applicable to Commercial Large Scale Battery Storage Systems uses in the Township; and

NOW THEREFORE BE IT RESOLVED, a moratorium is hereby imposed upon the issuance of any and all permits, licenses, or approvals for any property subject to or under the jurisdiction of the Township's Zoning Ordinance for the establishment or use of any new Commercial Large Scale Battery Storage Systems uses in the Township. The moratorium imposed

by this Resolution shall remain in effect for six (6) months following the effective date of this Resolution, or until Commercial Large Scale Battery Storage Systems regulatory amendments to the Township's Zoning Ordinance become effective, whichever occurs first. Before this moratorium expires, the Township may by resolution extend the moratorium for up to six (6) months to allow sufficient time to complete amendments to its Master Plan and Zoning Ordinance, if necessary. If an extension is adopted, the Township will publish notice of the extension.

RESOLVED BY:
SUPPORTED BY:

VOTE:

ADOPTION DATE: March 26, 2024

CERTIFICATION OF THE CLERK

The undersigned, being the duly qualified and acting Clerk of Tyrone Township, Livingston County, Michigan, hereby certifies that (1) the foregoing is a true and complete copy of a resolution adopted by the Township Board at a regular meeting, held on March 26, 2024, at which meeting a quorum was present and remained throughout, (2) the original thereof is on file in the records in my office, (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended) and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Pam Moughler
Township Clerk

NEW BUSINESS #8

Renewal of commercial insurance policy for township
hall.

INVOICE /BIND REQUEST

Township of Tyrone, Livingston County
8420 Runyon Lake Road
Fenton, MI 48430-9505

BURNHAM & FLOWER AGENCY, INC.

315 South Kalamazoo Mall
Kalamazoo, MI 49007

ENTITY NAME: Township of Tyrone, Livingston County

EFFECTIVE: 4/1/2024

Please bind coverage per the attached proposal premiums as indicated below.

Package

General Liability	Included
Employee Benefits Liability	Included
Wrongful Acts Liability	Included
Property	Included
Automobile	Included
EDP	Included
Crime	Included

MTPP Package Premium **\$23,958.00**

Cyber Premium **\$1,988.75**

Total Premium **\$25,946.75**

Total Premium Submitted \$ _____

PAYMENT DUE ON OR BEFORE POLICY EFFECTIVE DATE

THANK YOU FOR YOUR BUSINESS AND CONTINUED SUPPORT!

AUTHORIZED SIGNATURE: _____ **DATE:** _____



Cyber Coverage Proposal

Township of Tyrone, Livingston County



Effective:

4/1/2024

*Presented & Administered By:
Jon Johnson*

Burnham & Flower
INSURANCE GROUP

▲ ACRISURE® | AGENCY PARTNER



DECLARATIONS

THE FOLLOWING INSURING CLAUSES ARE SUBJECT TO AN EACH AND EVERY CLAIM LIMIT

INSURING CLAUSE 1: CYBER INCIDENT RESPONSE

SECTION A: INCIDENT RESPONSE COSTS

Limit of liability: USD250,000 each and every claim

Deductible: USD0 each and every claim

SECTION B: LEGAL AND REGULATORY COSTS

Limit of liability: USD250,000 each and every claim

Deductible: USD2,500 each and every claim

SECTION C: IT SECURITY AND FORENSIC COSTS

Limit of liability: USD250,000 each and every claim

Deductible: USD2,500 each and every claim

SECTION D: CRISIS COMMUNICATION COSTS

Limit of liability: USD250,000 each and every claim

Deductible: USD2,500 each and every claim

SECTION E: PRIVACY BREACH MANAGEMENT COSTS

Limit of liability: USD250,000 each and every claim

Deductible: USD2,500 each and every claim

SECTION F: THIRD PARTY PRIVACY BREACH MANAGEMENT COSTS

Limit of liability: USD250,000 each and every claim

Deductible: USD2,500 each and every claim

SECTION G: POST BREACH REMEDIATION COSTS

Limit of liability: USD50,000 each and every claim, subject to a maximum of 10% of all sums we have paid as a direct result of the **cyber event**

Deductible: USD0 each and every claim



INSURING CLAUSE 2: CYBER CRIME

SECTION A: FUNDS TRANSFER FRAUD

Limit of liability:	USD100,000	each and every claim
Deductible:	USD2,500	each and every claim

SECTION B: THEFT OF FUNDS HELD IN ESCROW

Limit of liability:	USD100,000	each and every claim
Deductible:	USD2,500	each and every claim

SECTION C: THEFT OF PERSONAL FUNDS

Limit of liability:	USD100,000	each and every claim
Deductible:	USD2,500	each and every claim

SECTION D: EXTORTION

Limit of liability:	USD250,000	each and every claim
Deductible:	USD2,500	each and every claim

SECTION E: CORPORATE IDENTITY THEFT

Limit of liability:	USD100,000	each and every claim
Deductible:	USD2,500	each and every claim

SECTION F: TELEPHONE HACKING

Limit of liability:	USD100,000	each and every claim
Deductible:	USD2,500	each and every claim

SECTION G: PUSH PAYMENT FRAUD

Limit of liability:	USD50,000	each and every claim
Deductible:	USD2,500	each and every claim

SECTION H: UNAUTHORIZED USE OF COMPUTER RESOURCES

Limit of liability:	USD100,000	each and every claim
Deductible:	USD2,500	each and every claim



INSURING CLAUSE 3: SYSTEM DAMAGE AND BUSINESS INTERRUPTION

SECTION A: SYSTEM DAMAGE AND RECTIFICATION COSTS

Limit of liability: USD250,000 each and every claim

Deductible: USD2,500 each and every claim

SECTION B: INCOME LOSS AND EXTRA EXPENSE

Limit of liability: USD250,000 each and every claim, sub-limited to USD250,000 in respect of **system failure**

Deductible: USD2,500 each and every claim

SECTION C: ADDITIONAL EXTRA EXPENSE

Limit of liability: USD100,000 each and every claim

Deductible: USD2,500 each and every claim

SECTION D: DEPENDENT BUSINESS INTERRUPTION

Limit of liability: USD250,000 each and every claim, sub-limited to USD250,000 in respect of **system failure**

Deductible: USD2,500 each and every claim

SECTION E: CONSEQUENTIAL REPUTATIONAL HARM

Limit of liability: USD250,000 each and every claim

Deductible: USD2,500 each and every claim

SECTION F: CLAIM PREPARATION COSTS

Limit of liability: USD25,000 each and every claim

Deductible: USD0 each and every claim

SECTION G: HARDWARE REPLACEMENT COSTS

Limit of liability: USD250,000 each and every claim

Deductible: USD2,500 each and every claim



THE FOLLOWING INSURING CLAUSES ARE SUBJECT TO AN AGGREGATE LIMIT

INSURING CLAUSE 4: NETWORK SECURITY & PRIVACY LIABILITY

SECTION A: NETWORK SECURITY LIABILITY

Aggregate limit of liability:	USD250,000	in the aggregate, including costs and expenses
Deductible:	USD2,500	each and every claim, including costs and expenses

SECTION B: PRIVACY LIABILITY

Aggregate limit of liability:	USD250,000	in the aggregate, including costs and expenses
Deductible:	USD2,500	each and every claim, including costs and expenses

SECTION C: MANAGEMENT LIABILITY

Aggregate limit of liability:	USD250,000	in the aggregate, including costs and expenses
Deductible:	USD2,500	each and every claim, including costs and expenses

SECTION D: REGULATORY FINES

Aggregate limit of liability:	USD250,000	in the aggregate, including costs and expenses
Deductible:	USD2,500	each and every claim, including costs and expenses

SECTION E: PCI FINES, PENALTIES AND ASSESSMENTS

Aggregate limit of liability:	USD250,000	in the aggregate, including costs and expenses
Deductible:	USD2,500	each and every claim, including costs and expenses

INSURING CLAUSE 5: MEDIA LIABILITY

SECTION A: DEFAMATION

Aggregate limit of liability:	USD250,000	in the aggregate, including costs and expenses
Deductible:	USD2,500	each and every claim, including costs and expenses

SECTION B: INTELLECTUAL PROPERTY RIGHTS INFRINGEMENT

Aggregate limit of liability:	USD250,000	in the aggregate, including costs and expenses
Deductible:	USD2,500	each and every claim, including costs and expenses

INSURING CLAUSE 6: TECHNOLOGY ERRORS AND OMISSIONS

NO COVER GIVEN



INSURING CLAUSE 7: COURT ATTENDANCE COSTS

Aggregate limit of liability: USD100,000 in the aggregate

Deductible: USD0 each and every claim



POLICYHOLDER DISCLOSURE NOTICE OF TERRORISM INSURANCE COVERAGE

ATTACHING TO POLICY N/A

NUMBER:

THE INSURED: Township of Tyrone Livingston

WITH EFFECT FROM: -

Coverage for acts of terrorism is included in your policy. You are hereby notified that under the Terrorism Risk Insurance Act, as amended in 2015, the definition of act of terrorism has changed. As defined in Section 102(1) of the Act: The term “act of terrorism” means any act or acts that are certified by the Secretary of the Treasury—in consultation with the Secretary of Homeland Security, and the Attorney General of the United States—to be an act of terrorism; to be a violent act or an act that is dangerous to human life, property, or infrastructure; to have resulted in damage within the United States, or outside the United States in the case of certain air carriers or vessels or the premises of a United States mission; and to have been committed by an individual or individuals as part of an effort to coerce the civilian population of the United States or to influence the policy or affect the conduct of the United States Government by coercion.

Under your coverage, any losses resulting from certified acts of terrorism may be partially reimbursed by the United States Government under a formula established by the Terrorism Risk Insurance Act, as amended. However, your policy may contain other exclusions which might affect your coverage, such as an exclusion for nuclear events. Under the formula, the United States Government generally reimburses 85% through 2015; 84% beginning on January 1, 2016; 83% beginning on January 1, 2017; 82% beginning on January 1, 2018; 81% beginning on January 1, 2019 and 80% beginning on January 1, 2020, of covered terrorism losses exceeding the statutorily established deductible paid by the insurance company providing the coverage.

The Terrorism Risk Insurance Act, as amended, contains a \$100 billion cap that limits U.S. Government reimbursement as well as insurers' liability for losses resulting from certified acts of terrorism when the amount of such losses exceeds \$100 billion in any one calendar year. If the aggregate insured losses for all insurers exceed \$100 billion, your coverage may be reduced.

The portion of your annual premium that is attributable to coverage for acts of terrorism is USD0.00 and does not include any charges for the portion of losses covered by the United States government under the Act.

SUBJECT OTHERWISE TO THE TERMS AND CONDITIONS OF THE POLICY

Township of Tyrone, Livingston County

4/1/2024

Premium Summary

\$250,000 Coverage Limit	\$1,550.00
Policy Fees	\$400.00
Policy Taxes	\$38.75
Total Premium:	\$1,988.75

****NOTICE:**

This proposal is an overview of coverages and is merely descriptive and should be used for reference purposes only. Please refer to the coverage document for specific terms, conditions, and exclusions. Any questions should be referred to your independent insurance agent.





Burnham & Flower
INSURANCE GROUP

▲ ACRIURE® | AGENCY PARTNER



Applicant Name: **TYRONE TOWNSHIP - LIVINGSTON**
Policy Effective Date: 04/01/2024
Application Number: 3388924060901

Tokio Marine HCC Public Risk APPLICATION DECLARATION

After complete investigation and inquiry, to the best of applicant's knowledge and belief, no principals, partners, directors, officers, employees, or insurance managers have knowledge of any act, error, omission, fact, incident, situation, unresolved job dispute, accident, or any other circumstance that is or could be the basis for a claim under this proposed insurance policy.

Report knowledge of all such incidents to your current carrier prior to your current policy expiration. The proposed insurance being applied for will not respond to incidents about which you had knowledge prior to the effective date of the policy nor will coverage apply to any claim or circumstance identified or that should have been identified in this application.

The applicant has read the foregoing and understands that completion of this Application does not bind the Underwriter or other party to provide coverage. It is agreed, however, that this Application is complete and correct to the best of applicant's knowledge and belief and that all particulars which may have a bearing upon acceptability as an insurance risk have been revealed. It is understood that this Application shall form the basis of the contract should the Underwriter approve coverage and should the applicant be satisfied with the Underwriter's quotation.

It is further agreed that, if in the time between submission of this Application and the requested date for coverage to be effective, the applicant becomes aware of any information which would change the answers furnished in response to any question of this Application, such information shall be revealed immediately in writing to the Underwriter.

Signature of authorized official: _____ Date _____

Print name of authorized official: _____

Title of authorized official: _____

Client Name: TYRONE TOWNSHIP
Application #: 3388924060901
Michigan Township Participating Plan

2/20/2024 12:22:34 PM

Leading the Way for Michigan!

PROPOSAL OF COVERAGES

Public Entity Insurance
Proposal for:

Township of Tyrone, Livingston County

Effective Date: 4/1/2024



Presented by:

Jonathan Johnson
(269) 341-9764
jjohnson@bfgroup.com

HOW BURNHAM & FLOWER SERVES YOU

Since 1966, Burnham & Flower Insurance Group has specialized in Michigan public entities and understands your unique coverage needs. We are your single source for Group Benefits, Property & Liability, and Group/ Individual Retirement Planning. In addition to comprehensive coverages, we provide risk management services, employee education, onsite reviews, online enrollment, 24/7 access to each employee's benefits information, and much more.

Our Property & Casualty team has over 54 years of experience in the Public Entity Insurance Business. Friendly and professional service for all your insurance needs. Below are the coverage opportunities our team has to offer.

Par Plan/ Open Property & Casualty

Broad coverage, competitive pricing, over 1300 Michigan entities with 96% retention.

CFC Cyber Insurance

Cybercrime, network security privacy, liability, system damage, business interruption and phishing scams.

Workers Compensation

Wage loss, medical treatment, rehab, death benefit and much more. Since 1912 Michigan based.

Provident: Insurance For Emergency Services

24/7 AD&D insurance, line of duty, occupational coverage and a first responder assistance program.

Additional information on any of these programs is available upon your request!

YOUR PROPERTY & CASUALTY TEAM



Jon Johnson

Ext 3163

Account Manager
jjohnson@bfgroup.com



Megan West

Ext 3178

Account Manager
mwest@bfgroup.com



Bobbi Pritchard

Ext 3111

Department Manager
bpritchard@bfgroup.com



Kate Thomas

Ext 3122

Service Representative
kthomas@bfgroup.com



MICHIGAN TOWNSHIP PARTICIPATING PLAN

- The Michigan Township Participating Plan was formed in 1985.
- The Par Plan develops coverage programs specific to every member's needs.
 - The Par Plan is a unique and proven, member-driven system that has effectively provided affordable, tailored property and casualty coverage to Michigan public entities for many years.
 - The Par Plan is a proven, historically stable program with nearly **900 Michigan Townships** and a **98% member retention rate** and a strong, long-term working relationship with its program reinsurers.
- Over **1,300 current members** already know why The Par Plan is #1 in Michigan.
- Par Plan was structured to provide more features and benefits than any other plan:
 - Non-profit Tax-exempt
 - Retain investment income
 - Stable pricing
 - Interactive website
 - Simplified application
 - Specialized loss control
 - Homogenous group

MTPP RISK REDUCTION GRANT PROGRAM

The Michigan Township Participating Plan (Par Plan) established the Risk Reduction Grant Program in 2011 to continue providing its members a concentration of expert services in the public arena. This program further allows the Par Plan to partner with members and foster cooperation in an effective risk management and loss control program.

To the extent that funds are available, the Risk Reduction Grant Program has been established to assist members in reducing specific risk exposures and to assist our members in their efforts of applying effective risk management and loss control techniques for exposures the Par Plan insures.

GRANT QUALIFICATIONS

The applicant must be a member of the Michigan Township Participating Plan. The longevity of membership will be a factor considered in the approval and the amount of grant that is issued. Since risk management and grants usually result in cost savings in future years, members with long continuous membership will be given priority.

First year Par Plan members are not eligible for funding.

GRANT SELECTION PROCESS

The proposed grant request must present an approach which may provide a unique and innovative solution in order to assist our member in their efforts of applying effective risk management and loss control techniques covered by the Par Plan program.

The impact of the grant request must be identifiable and measurable. The grant must have a positive benefit to cost ratio; the project should demonstrate a measurable and realistic outcome to an exposure(s) and must not duplicate similar efforts already undertaken by the member. The budget for the grant request must be realistic and accompanied by supporting data.

The plan of action must have a high probability of assisting or reducing the exposure(s). Statistics or other available data demonstrating the severity or extent of the exposure(s) being addressed will enhance the possibility of receiving the grant.

APPLICATION & SUBMISSION

To obtain an application visit the Michigan Township Par Plan's website at www.theParPlan.com

GRANT WINNING EXAMPLES

- Firefighter Training of Emergency Vehicle Operations
- Police Department In-Car Cameras
- Fire Vehicle Backup Cameras
- Video Surveillance Systems
- Baseball Diamond Fence Guards
- Ambulance Front Bumper Guard
- Park Bulletin Board
- Park/Playground Fall Material or resurfacing
- Police Department Taser Training
- Smoke Detector with Direct Dial in Township Hall
- Well House Video Surveillance
- Fire & Rescue Training Structure
- EMS Power Cot
- Township Hall Emergency Lighting & Exit Signs
- Employee Training or Education
- Park Bleachers
- Cemetery Signage
- Chevron Striping on Emergency Vehicles
- Media Storage / Server for Police Patrol Recordings

TMHCC RISK CONTROL SERVICE & CLAIMS



RISK CONTROL SERVICES

Provides customized loss control to a variety of Municipal Governments, including Cities, Counties, Towns, Townships and Villages. We also work closely with the different branches within these entities:

- Police & Fire Departments
- Public Works
- Parks & Recreation Programs
- Human Resources Departments

Our main objective is to assist Municipalities in reducing and/or transferring potential liability exposures. To help our members deal with these, we offer several types of risk control services:

- Risk Control site visits and subsequent report with recommendations for improvement
- Special event and hold harmless language reviews
- Resource materials
- Technical assistance
- Free Risk Control workshops and conferences

These services are provided by experienced risk control personnel who utilize proven risk control techniques and procedures. These techniques and procedures are continuously updated by conferring with TMHCC appointed counsel and HCC Public Risk Claim Service, Inc.* TMHCC Risk Control Department Representatives are available to provide risk control advice and guidance at *no additional cost* to TMHCC insureds to help them avoid, reduce and/or transfer potential liability exposures.

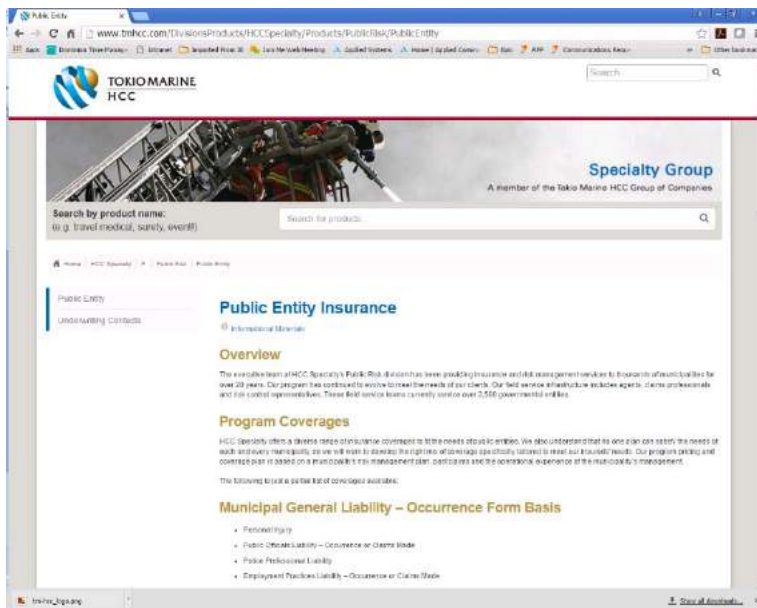
If you have any questions in regards to any of the risk control services that are provided, please contact your local TMHCC Risk Control Representative or the TMHCC Risk Control Department.

* HCC Public Risk Claim Service, Inc. is a subsidiary of TMHCC and is the claims administrator for the TMHCC program. Information regarding TMHCC and appointed counsel is on their web page at www.tmhcc.com.



Set your home page to **www.tmhcc.com** to visit The TMHCC web site, available to you 24 hours each day, 7 days each week.

Visit the site to learn about upcoming events such as annual conventions, important meetings and helpful workshops; learn about the board members who represent you; find contact information for all of the municipal coverage professionals who are eager to serve your needs.



TMHCC maintains some of the highest financial ratings available within the insurance industry:



AA-
by Standard & Poor's



AA-
by Fitch Ratings



A+
by A.M. Best Company

Service Providers



Burnham & Flower Insurance Group
Customer Service
315 S. Kalamazoo Mall
Kalamazoo, MI 49007
888.748.7966



Michigan Township Participating Plan
1700 Opdyke Court
Auburn Hills, Michigan 48326
248- 371-3100



AccidentFund
200 N. Grand Avenue
PO Box 40790
Lansing, MI 48901-7990
866-206-5851



TMHCC
Risk Control Administration
1700 Opdyke Court
Auburn Hills, Michigan 48326
800.878.9878



HCC Public Risk Claim Service, Inc.
Claims Administration
1700 Opdyke Court
Auburn Hills, Michigan 48326
800.878.9878
24 Hour Telephone: 800.225.6561
publicriskclaims@tmhcc.com



CFC Underwriting Limited
85 Gracechurch Street
London EC3V 0AA
United Kingdom

Our Service Promise

We promise.

- We will promptly respond to your phone calls and emails.
- We will expedite any changes in coverage.
- We have staff on-site with expertise in the following areas:
 - Property & Casualty
 - Workers' Compensation
 - Bonds
- We will happily review your coverage at any time. We recommend review on an annual basis.
- We have the ability to review contracts or certificates you receive from other entities.
- We are willing and able to meet with you and your team to fully review coverage.

You Serve Others. We Serve You.





MICHIGAN TOWNSHIP PARTICIPATING PLAN

REVISED

Quote Date: March 11, 2024
 Quote for: **TYRONE TOWNSHIP - LIVINGSTON**
 Policy Term: **04/01/2024 - 04/01/2025**
 Payment Plan: **Annual**
 Company: **U.S. Specialty Insurance Company (USSIC)**
The Michigan Township Participating Plan (MTPP)
 Policy #: **M24MTP80503-05**

General Liability - Occurrence Form (USSIC)

Subject to \$5,000,000 per Occurrence / \$0 Aggregate
Subject to \$0 Deductible
 Damage to Premises Rented to you \$500,000 **Subject to \$0 Deductible**
 Medical Payments \$10,000
 Government Medical Included
 Cemetery Professional Included **Subject to \$0 Deductible**
 Pesticide or Herbicide - No Coverage
 General Liability Nose Coverage - No Coverage
Employee Benefits - Occurrence Form - Subject to \$1,000,000 per Occurrence / \$3,000,000 Aggregate
Subject to \$0 Deductible
 Employee Benefits Prior Acts Coverage - No Coverage
 Sewer Backup Liability \$100,000 per Occurrence / \$100,000 Aggregate

Cyber Liability Coverage (MTPP) - No Coverage

Liquor Liability (USSIC) - No Coverage

Special Events: Subject to receipt of Special Events Application, Risk Control review and Underwriting approval (Additional Premium may apply)

Fireworks Liability: Subject to receipt of Special Events Application, Risk Control review and Underwriting approval prior to binding coverage (Additional Premium will apply)

Wrongful Acts Liability - Occurrence Form (USSIC)

Subject to \$5,000,000 per Occurrence / \$0 Aggregate
Subject to \$0 Deductible
Please note: Wrongful Acts Deductible and Loss Adjustment Expenses Apply to EPLI.
 Prior Acts Coverage - No Coverage
 Non-Monetary Damage \$50,000 Per Suit / \$100,000 Per Policy Limit
 Private Property Use Restriction Sublimit \$250,000 per Occurrence / \$0 Aggregate
Subject to \$2,500 Deductible Includes Loss and Loss Adjustment Expense

Law Enforcement Liability (USSIC) - No Coverage

Property (USSIC)

Total Building and Contents Limit	\$2,936,304
Coinsurance	N/A
Subject to:	\$1,000 Deductible
Blanket Basis	Included
Agreed Amount	Included
Building Valuation—per schedule on file with company	Replacement Cost
Special Form	Included

Quote for: TYRONE TOWNSHIP



MICHIGAN TOWNSHIP PARTICIPATING PLAN

Accounts Receivable	\$250,000
Animal Mortality	\$10,000 any one occurrence
Business Income	\$500,000 any one occurrence
Extra Expense	\$500,000 any one occurrence
Debris Removal	25% of direct physical loss or damage to covered property
Electrical Utility Service Interruption	\$25,000 any one occurrence
Fire Department Service Charge	\$5,000 for your liability
Fire Equipment Recharge	\$5,000 for each separate 12 month period
Foundations of Machinery	\$250,000 any one occurrence
Golf Course Greens	\$100,000 any one occurrence
Inventory or Appraisal	\$10,000 any one claim
Newly Acquired or Constructed Prop – Bldg	\$1,000,000 for 180 days at each building
Newly Acquired or Constructed Prop – Contents	\$250,000 at each building
Outdoor Property – Specifically Listed Items	\$10,000 any one occurrence; Limited Perils
Outdoor Property – All Other Items	\$5,000 any one occurrence; Limited Perils
Personal Effects – Property of Others	\$1,000 for personal property of any one employee or volunteer
	\$50,000 any one occurrence
	\$15,000 any one occurrence for property of others
Property in Transit	\$50,000 any one occurrence
Property off Premises	\$100,000 any one occurrence
Underground Pipes, Flues or Drains	\$1,000,000
Valuable Papers & Records – Cost to Research	\$250,000 any one occurrence
Law and Ordinance Coverage	Actual Loss Sustained
Earthquake Coverage	\$1,000,000 subject to \$50,000 Deductible
Flood Coverage	\$100,000 subject to \$10,000 Deductible

(Any location in the following flood zones is excluded: Flood Zones A, AO, AH, A1 - A30, A99, V, V1-V30. Any area later designated by FEMA as a "special flood coverage area" at the time of a Covered Cause of Loss is also subject to this limitation. Any area removed by FEMA from a "special flood coverage area" designed at the time of a Covered Cause of Loss is not subject to this limitation.)

Equipment & Mechanical Breakdown Included
Subject to: \$1,000 Deductible
 Law and Ordinance Limit \$250,000

Automobile (USSIC)

Based on 0 vehicles - Schedule on file with Company
 Subject to \$5,000,000 Liability Limit
Subject to \$0 Deductible
 Hired and Non Owned Automobile Liability
 Personal Injury Protection - No Coverage
 Property Protection Insurance - Included
 Mini-Tort Liability - Included
 Hired Auto Physical Damage - No Coverage
 Employee Vehicle Endorsement
 Nose Coverage - No Coverage
 Auto Catastrophic Coverage - No Coverage
 Garage Keepers Legal - No Coverage
 Impound Vehicles Coverage - No Coverage

Inland Marine (USSIC)

Subject to \$1,000 Deductible
 Scheduled Equipment – Per Schedule on file with company \$0



MICHIGAN TOWNSHIP PARTICIPATING PLAN

Valuation:	
Misc. Property & Equipment	\$51,000
Valuation: Replacement Cost	
Ancillary Equipment (Fire Department)	No Coverage
Valuation: Replacement Cost	
Contractors Equipment Rented From Others less than 90 days	\$0
Aircraft Non-Operating Shell	No Coverage
Total Limit:	\$51,000

EDP (USSIC)

Total Limit	\$100,000
Subject to \$1,000 Deductible	
System Breakdown Coverage	Included
Loss of Business Income	\$100,000
Extra Expense	\$100,000
Media Coverage	\$100,000

Crime (USSIC)

Coverage Form B, C & F Subject to: \$0 Deductible

B. Forgery or Alteration	\$250,000
C. Theft, Disappearance and Destruction In/Out	\$100,000
F. Computer Fraud	\$100,000

Coverage Form O & P Subject to: \$0 Deductible

O. Employee Dishonesty – Per Loss	\$100,000
P. Employee Dishonesty – Per Employee	No Coverage
Includes Faithful Performance	

USSIC Sub Total Premium:	\$23,958.00
MTPP Cyber Sub Total Premium:	\$.00
MCCA:	\$.00
Total Annual Package Premium:	\$23,958.00

- **Note: Terrorism option and optional quoted premiums are not included in installment plan premiums.
- **Note: Mold, Fungi & Bacterial Exclusion Included
- **Note: Perfluorinated Compounds (PFC)/Per-and Polyfluoroalkyl Substances (PFAS) Total Exclusion Included
- **Note: Accounts cannot be brokered
- **Note: All SIR's Include Loss, Loss Adjustment Expense and Supplementary Payments
- **Note: Failure of any Dam, Levee or Dike Exclusion Included

You declined terrorism coverage for the expiring policy period. We have, therefore, not included a quotation for terrorism coverage for the renewal period and your signed declination of terrorism insurance will remain in effect as long as you are insured by this company and until you rescind the declination in writing. If you would like the above quotation to include insurance for terrorism, or if you would like to know more about terrorism coverage options available to you, please advise your agent.



MICHIGAN TOWNSHIP PARTICIPATING PLAN

Optional Quotes and Premium:

Special Conditions:

NOTE: The following forms need to be signed and returned prior to binding coverage:
~ Application Declaration

*As indicated herein, this quote remains valid until **04/01/2024** and cannot be amended or altered without express written consent of TMHCC. Also, please be aware that any required subjectivities must be received, reviewed and approved, prior to binding this risk*

Quote for: TYRONE TOWNSHIP



Property Schedule Information

Loc.# Bldg #	FacLoc # Within 50ft	Address City, State, Zip, County	Year Built SQ Feet	Building Contents	Mine Subsidence	Valuation Prop Boiler	POK BF Code	BC Sprinkler	Spec Ded
4 1	N/A No	WHITE LAKE RD (VACANT LAND) FENTON, MI 48430	2007 0	\$0 \$0	\$0	R R	11 010	1 No	N/A
5 1	N/A No	10154 WHITE LAKE RD (COLWELL CEMETERY) FENTON, MI 48430	1970 0	\$0 \$0	\$0	R R	11 010	1 No	N/A
6 1	N/A No	10226 LINDEN ROAD (CLOUGH CEMETERY) FENTON, MI 48430	1970 0	\$0 \$0	\$0	R R	11 010	1 No	N/A
7 1	N/A No	7194 HARTLAND RD (GARDNER CEMETERY) FENTON, MI 48430	1970 0	\$0 \$0	\$0	R R	11 010	1 No	N/A
8 1	N/A No	8420 RUNYAN LAKE ROAD (NEW TOWNSHIP HALL) FENTON, MI 48430	2000 10,180	\$2,545,000 \$106,000	\$0	R R	10 100	1 No	N/A
8 2	N/A No	8420 RUNYAN LAKE ROAD- STORAGE GARAGE FENTON, MI 48430	2000 800	\$78,024 \$0	\$0	R R	16 401	1 No	N/A
9 1	N/A No	8420 Runyan Road (HISTORICAL TOWNSHIP) FENTON, MI 48430	1970 894	\$203,487 \$3,793	\$0	R R	10 100	1 No	N/A

Client Name: TYRONE TOWNSHIP
Application #: 3388924060901
Michigan Township Participating Plan



Inland Marine Coverage

#	Serial Number Dept.	Year:	Make: Type:	Model: Actual / Replacement:	Limit:	Spec Ded:
0					\$0	N/A

Total Items:	0			Schedule Sub Total:	\$0
		Miscellaneous Property and Equipment:		\$51,000	
		Ancillary Equipment (Fire Department):		\$0	
		Contractor's Equipment Rented From Others Limit:		\$0	
		Sub Total:		\$51,000	
				Total:	\$51,000

Client Name: TYRONE TOWNSHIP
Application #: 3388924060901
Michigan Township Participating Plan



Canine Schedule

Name	Tattoo:	Description:	Year Born:	Value:
			0	\$0
Total Value:				\$0

Electronic Data Processing Coverage Information

EDP Coverage: Yes

EDP Deductible:

OR SIR:

Deductible: Yes
Amount: \$1,000

SIR: No
Amount: \$0
Aggregate Limit: \$0

Loss of Business Income Limit: \$100,000

Extra Expense: \$100,000

Media Coverage: \$100,000

System Breakdown: Yes

Electronic Data Processing Coverage Information

###	Serial Number:	Description:	Coverage:
1.		EDP BLANKET	\$100,000

Total Items:	1	Total Coverage:	\$100,000
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Client Name: TYRONE TOWNSHIP
Application #: 3388924060901
Michigan Township Participating Plan

Premium Summary

Township of Tyrone, Livingston County

General Liability	Included
Employee Benefits Liability	Included
Wrongful Acts Liability	Included
Property	Included
Automobile	Included
Inland Marine	Included
EDP	Included
Crime	Included

Total MTPP Premium: \$23,958.00

****NOTICE**

This proposal is an overview of coverage and is merely descriptive and should be used for reference purposes only. Please refer to the coverage document for specific terms, conditions, and exclusions. Any questions should be referred to your independent insurance agent.

Additional Forms Required

Township of Tyrone, Livingston County

Additional forms to be signed and returned

- Bind Request
- Application Declaration Form

****Please Note—if these forms are not returned, it will delay the issuance of your policy.****

Mail to:

Burnham & Flower
Attn: Kate Thomas
315 S. Kalamazoo Mall
Kalamazoo, MI 49007

NEW BUSINESS #9

Historic town house electrician bids.

ESTIMATE

SB Electrical Contractors, LLC SBElectricalcontractors22@gmail.com
P.O. Box 387 m
Chelsea, MI 48118 +1 (734) 417-6705



Tyrone Township Historic Town Hall

Bill to

Tyrone Township Historic Town Hall
8420 Runyan Lake Rd.
Fenton, MI 48430

Estimate details

Estimate no.: 1088
Estimate date: 03/14/2024

#	Date	Product or service	SKU	Qty	Rate	Amount
1.		Labor Wiring of Tyrone Township Historic Town Hall Service -Install (1) Consumers approved 200amp underground meter socket complete with 2" PVC lateral conduit sleeve from meter socket to earth as required by Consumers. -Install (1) Square D QO142M200P 200amp 42 space load center complete with surface cover. -Install (2) 8' Galvanized ground rods complete with #6thhn conductor to the above mentioned 200amp load center for grounding as per code. Main Area -Install (6) 20amp 120volt circuits to control (12) 20amp rated tamper resistant duplex receptacles at 6'/12' spacing in main building area. -Install (1) 20amp 120volt circuit to control (2) tamper resistant weather resistant 20amp GFCI protected duplex receptacles complete with in use covers located on west building exterior. -Install (1) 20amp 120volt circuit to control (1) tamper resistant weather resistant 20amp GFCI protected duplex receptacle complete with in use cover on northwest building exterior. -Install (1) 20amp 120volt circuit to control (1) tamper resistant weather resistant 20amp GFCI protected duplex receptacle complete with in use cover on southwest building exterior. -Install (2) 3-way switches to control (6) architecturally specified Base Corp. "School House Style" light fixtures. -Install (1) 120volt dawn to dusk photo cell to control (3) architecturally specified Base Corp. "Wet Location Rated Barn Style" light fixtures. (1) over West entry door (1) over East entry door and (1) at Northeast corner on exterior of building. These lights have battery back up, so in the event of a power outage they will serve as egress lighting which is required by code. -Install (1) AC/DC carbon monoxide detector in main area of building as required by code. -Install (2) ECRG-RD 20watt exit/emergency over East and West exit doors as required by code. -Install (1) single pole switch to control (1) keyless light fixture complete with A-19 Style lamp in attic space as required by code. -Install (1) 240volt 30amp Circuit complete with disconnect to control heating and cooling system. We will contact HVAC contractor for sizing, type and location. Crawl Space -Install (1) single pole switch to control (2) keyless fixtures complete with LED A-19 style lamps. -Install (1) 20amp 120volt tamper resistant GFCI protected duplex receptacle to control (1) existing sump pump.		1	\$7,000.00	\$7,000.00

-Install (1) 20amp 120volt tamper resistant GFCI protected duplex receptacle for general purpose use.
 -Install wiring from the above mentioned dawn to dusk photo cell to control future walkway lighting. These provisions will be left in a junction box located at crawl space access and the labor portion of the future walkway lighting will be figured into the "Allowance" portion of this estimate.

2.	Material	1	\$7,204.20	\$7,204.20
	-Square D QO142M200P Load Center with surface cover -Square D QO2175SB Surge Protector -Square D QO230 Circuit Breaker -Square D QO 120 Circuit Breaker -Square D QO 115 Circuit Breaker -Consumers underground meter socket -2" PVC -2" PVC Male Adapter -2" Locknut -2" Plastic Bushing -8' Galvanized Ground Rods -Acorn Nuts -1Gang Nail on Box -1Gang Cut in Box -1Gang Round Nail on Box -1Gang Round Nail on Box -20amp TR Receptacle -20amp TRWR GFCI Receptacle -Single Pole Spec Grade Switch -3-way Spec Grade Switch -In-Use Cover -1Gang Cover Plate -120volt Stem Mount Photo Control -14/2 Romex -14/3 Romex -12/2 Romex -10/2 Romex -#4/0 USE Conductor -#6THHN Conductor -Keyless Light Fixture -A-19 LED Lamp -30amp A/C Fusible Pull Out Disconnect -30amp FRN Fuse Base Corp. Light Fixtures (6) School House Style (3) Barn Style with battery back up for emergency egress			

3.	Allowance	1	\$2,000.00	\$2,000.00
	For future installation of undetermined walkway lighting			

Subtotal	\$16,204.20
Sales tax	\$552.25

Note to customer

We appreciate your business. Please find your Estimate attached. Feel free to contact us to discuss the details of the project if you have any questions. Your Estimate pricing is valid for 30 days, please let us know if you accept this order and would like to be added to the installation schedule.

Have a great day!
 SB Electrical Contractors, LLC

Total	\$16,756.45
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March 21, 2024
Tyrone Township
8420 Runyan lk rd
Fenton MI, 48430

Historic town Hall Renovation:

Estimate to include

1. Permit & inspections
2. 7 General Use 20 amp outlet circuits.
3. 1 Lighting 20 amp circuit.
4. 1 30 amp 240v circuit for mechanical unit with 3R disconnect on exterior of structure.
5. 1 20 amp 120v dedicated circuit for sump pump.
6. 1 20 amp 120v dedicated circuit for sump pump heat trace, **Note that heat trace is not included in estimate**.
7. 8 20 amp spare circuit breakers in panel per RP-A panel schedule.
8. 4 exterior Weather Resistant GFCI protected outlets.
9. 19 General Use duplex receptacles Tamper resistant style.
10. 6 Interior light fixtures Type A BASELITE CORP. SCFS/SH016/41/27K/LDM120
11. 3 Exterior light fixtures Type B BASELITE CORP.
YL16/41/E22/B12/LED25W/27K/LDM120/PR4
12. 2 Combination EXIT/EMERGENCY LIGHTS red lettering white plate.
13. 2 Three way switches for exterior lights.
14. 2 three way switches dimming for interior lights, with 2 ceiling mounted occupancy sensors.
15. 2 service lights in crawl space on a single pole switch at entrance.
16. 4 junction boxes in crawl space labeled outdoor lighting future use, with switch ganged with service lights.
17. Two year warranty of work and installation.

Total \$7,900.00



Service options:

100 amp main service

1. New 100 amp 24 space Panel 120/240v single phase surface mounted with main breaker.
2. Outdoor 100 amp underground service riser with Consumers approved meter can.
3. Outdoor 3R 100 amp main disconnect, per new NEC & MRC requirements for permits pulled after March 12, 2024.

Total for 100 amp service \$1,800.00

200 amp main outdoor rated service

1. New 200 amp 30 space 3R outdoor rated Panel 120/240v single phase surface mounted with main breaker. After site visit it was determined that having the main service panel mounted outside would not only help to preserve authenticity of the structure's interior, but also make it easy and non invasive to have this electrical service feed future installations like a gazebo.
2. Outdoor 200 amp underground service riser with Consumers approved meter can.
3. Main disconnect will be outdoors in the main panel next to the electrical meter per new NEC & MRC requirements for permits pulled after March 12, 2024.

Total for 200 amp service \$2,200.00

NOT RESPONSIBLE FOR ANY STRUCTURAL ELEMENTS/COMPONENTS REMOVAL OR REPAIR. ALL PRICING IS CONTINGENT ON CURRENT MARKET PRICES OF MATERIALS AT TIME OF QUOTE FOR 30 DAYS. QUOTE IS SUBJECT TO APPROVAL OF AUTHORITIES HAVING JURISDICTION.

SIGNATURE

DATE

RCJContractorsLLC@gmail.com
810-215-1290