

**TYRONE TOWNSHIP PLANNING COMMISSION  
REGULAR MEETING AGENDA  
March 8, 2022 7:00 p.m.**

**This meeting will be held at the Tyrone Township Hall and via Zoom  
videoconferencing (Zoom details follow this agenda)**

**CALL TO ORDER:**

**PLEDGE OF ALLEGIANCE:**

**CALL TO THE PUBLIC:**

**APPROVAL OF THE AGENDA:**

**APPROVAL OF THE MINUTES:**

1. September 14, 2021

**OLD BUSINESS:**

1. Foster Storage Condominium Special Land Use
2. Sight Lines

**NEW BUSINESS:**

**CALL TO THE PUBLIC:**

**MISCELLANEOUS BUSINESS:**

1. Next Workshop Meeting 03/16/2022

**ADJOURNMENT:**



Planning & Zoning is inviting you to a scheduled Zoom meeting.

Topic: Planning Commission Regular Meeting

Time: Mar 8, 2022 07:00 PM Eastern Time (US and Canada)

### Join Zoom Meeting

<https://us02web.zoom.us/j/89569717339>

Meeting ID: 895 6971 7339

Passcode: 123456

One tap mobile

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+13017158592,,89569717339#,,,,\*123456# US (Washington DC)

Dial by your location

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# **APPROVAL OF MINUTES**

Planning Commission Regular Meeting & Public Hearing  
Minutes- September 14, 2021



1                   **TYRONE TOWNSHIP PLANNING COMMISSION**  
2                   **REGULAR MEETING & PUBLIC HEARING MINUTES**

3                   September 14, 2021 7:00 p.m.

4                   **Meeting Held at the Tyrone Township Hall**

5                   **The Meeting was Recessed at 7:30 pm for a Public Hearing**  
6  
7

8                   **PRESENT:** Kurt Schulze, Jon Ward, Garrett Ladd, Steve Krause, Bill Wood, and Rich Erickson  
9

10                  **ABSENT:** Dan Stickel  
11

12                  **OTHERS PRESENT:** Ross Nicholson and Zach Michels (CWA)  
13

14                  **CALL TO ORDER:** The meeting was called to order at 7:00 by Vice Chairman Schulze.  
15

16                  **PLEDGE OF ALLEGIANCE:**  
17

18                  **CALL TO THE PUBLIC:**  
19

20                  Chairman Schulze opened the floor to accept public comments not related to items on the  
21                  agenda.  
22

23                  Jannette Ropeta (resident) asked the Planning Commission if they could better notify residents  
24                  when meeting agendas become available. She stated that a number of residents were in  
25                  attendance specific to the Lake Urban Crossing Preliminary PUD application which the Planning  
26                  Commission had mentioned may not be discussed. Vice Chairman Schulze indicated that they  
27                  intended to discuss the item but, unfortunately, they had not received a revised Planner review of  
28                  the application since new information was provided by the applicants. She stated that she would  
29                  appreciate it if the Planning Commission could better notify residents of changes to the agenda in  
30                  advance. Vice Chairman Schulze stated that, moving forward, they would do their best.  
31

32                  Jeff Cooper (resident) referenced a previous discussion regarding whether or not the proposed  
33                  Lake Urban Crossing PUD could be located along Runyan Lake Road because it is not classified  
34                  as a County primary road as required by the Zoning Ordinance. Vice Chairman Schulze  
35                  indicated that the Planning Commission is currently investigating and would discuss further at a  
36                  future meeting.  
37

38                  Scott Dietrich (resident) asked why he was told that the Vale Royal event barn special land use  
39                  application did not require a public hearing when a public hearing was subsequently scheduled  
40                  for the current meeting. Vice Chairman Schulze apologized, stating that he made the previous  
41                  statement in error and that a public hearing was required.  
42

43                  **APPROVAL OF THE AGENDA:**  
44

45                  Kurt Schulze asked if anyone would like to make a motion to approve the agenda as amended,  
46                  noting that the Lake Urban Crossing Preliminary PUD application had been removed due to a



revised Planner review being unavailable and moving Old Business item #3 ahead of all other business. Steve Krause made a motion to approve the agenda as amended. Rich Erickson supported the motion. Motion carried by unanimous voice vote.

**APPROVAL OF THE MINUTES:** Deferred.

**OLD BUSINESS #3: Durocher Special Land Use Site Plan Amendment:**

Vice Chairman Schulze asked Zach Michels to provide a summary of the application and read through the review he had prepared. Zach Michels stated that the proposal is for a major site plan and special land use permit amendment to an existing special land use for a contractor's office and outdoor storage yard. He summarized the proposal and read through the review he had prepared for the application. He provided recommendations for additional agency reviews that the Planning Commission may require. He explained that the Planning Commission had previously determined that the existing special land use was similar to existing special land uses permitted within the zoning district and did not classify the operation specifically as an open storage yard. He provided the Planning Commission with recommendations for specific aspects of the proposal including modifications to the use statement and site plan including landscaping/screening, paving, stormwater management, parking, etc.. He stated that the proposal is generally consistent with the Zoning Ordinance standards with minor modifications and concluded with a list of recommendations for additional information that the Planning Commission may request.

Vice Chairman Schulze asked if the applicant or authorized agent would like to comment. Tim Zimmer with Livingston Engineering (authorized agent) thanked Zach Michels and the Planning Commission and indicated that they are open to make modifications to the site plan and use statement as the Planning Commission requires. He commented on the suggestions provided in Zach Michels' review letter. He stated that he welcomes any comments or questions the Planning Commission may have.

Steve Krause asked if it would be possible to make modifications to the proposed berm shown on the site plan at the north property line of the site. The Planning Commission briefly discussed with Tim Zimmer.

Jon Ward asked if topsoil screening was previously permitted under the existing special land use permit. Tim Zimmer indicated that he believes so. The Planning Commission briefly discussed. It was noted that the topsoil screening aspect should be included on the use statement.

Vice Chairman Schulze asked the Planning Commission if they felt that a performance guarantee should be required. He asked Tim Zimmer if there would be any objection to providing a financial guarantee, if necessary. Tim Zimmer indicated that it would not be a problem.

Steve Krause suggested revising the landscaping plan to include a variety of different trees. Tim Zimmer indicated that they could revise the planting types if necessary.



Jon Ward asked if there were any additional hours of operation beyond those listed in the use statement. Gerry Durocher (applicant) indicated that the hours are slightly reduced with seasonal Steve Krause asked if requiring a maintenance schedule for stormwater management systems on the site would be appropriate for the special land use. Zach Michels indicated that it may be appropriate to require in this case though it is not as common for commercial uses as it is in condominiums.

Vice Chairman Schulze indicated that the time was 7:30 pm and indicated that the scheduled public hearing should start.

Rich Erickson made a motion to temporarily suspend the regular meeting to hold the scheduled public hearing. Steve Krause supported the motion. Motion carried by unanimous voice vote.

*The item was temporarily deferred.*

**PUBLIC HEARING #1/OLD BUSINESS #1: Vale Royal Barn Special Land Use and Site Plan Amendment:**

Vice Chairman Schulze opened the public hearing and read the public hearing notice that was published in the Tri County Times on Sunday, August 29<sup>th</sup>, 2021, in compliance with the Open Meetings Act:

Notice is hereby given the Tyrone Township Planning Commission will hold a Public Hearing on Tuesday, September 14, 2021, beginning at 7:30 at the Tyrone Township Hall, 8420 Runyan Lake Road, Fenton, Michigan 48430. The purpose for the Public Hearing is:

1. To receive public comments regarding a request by Valerie Johnson, for an amendment to an event venue special land use known as Vale Royal Barn & Inn, regulated by Zoning Ordinance #36 Section 4.03.H - FR/RE Recreational Area Special Land Uses, and Section 22.05.F – Commercial Recreation Areas, located at 11009 Old US-23, Fenton, Michigan 48430, Tax ID 4704-09-100-007. The property is zoned RE (Rural Estate).
2. To receive public comments regarding a request by DMN Property Holdings, LLC for 2 proposed shared private driveways as part of a land division creating eight (8) new parcels; one at the end of the cul-de-sac on Riverwalk Drive and 1 at the end of Shannon Glen Drive in Shannon Glen site condominium. The parent parcel is Parcel ID: 4704-32-100-010, zoned R-1 (Single-Family Residential).

Additional information is available at the Tyrone Township Planning & Zoning Department, 8420 Runyan Lake Road, Monday through Thursday, 9 a.m. to 5 p.m. Individuals with disabilities requiring auxiliary aids or services should contact the Tyrone Township Clerk, at (810) 629-8631, at least seven days prior to the meeting.

Vice Chairman Schulze suggested starting with item #1, the Vale Royal barn Special Land Use and Site Plan Amendment.

Zach Michels summarized the request and read through the review letter he had prepared for the application.

He stated that the request is to allow additional large and small events beyond what is currently permitted. He went through the review letter making notes of the items that had been addressed and those that remained to be addressed.



He stated that the site plan has been revised to include all necessary information and would just need to be stamped and signed by a registered professional per the Zoning Ordinance requirements.

Valerie Johnson (applicant) asked for clarification on whether the site plan or use statement should be revised to specify the maximum number of guests and employees permitted for large and small events. Zach Michels indicated that both documents should be revised to include the information.

Vice Chairman Schulze asked the Planning Commission if they had any questions or comments. None were received.

Vice Chairman Schulze opened the floor to receive public comments.

Scott Dietrich (resident) stated that the location of the site is perfect for the special land use. He stated that it is important that these types of uses are located appropriately. He stated that he believes a sign at the entrance may be beneficial to make the site more easily identifiable to reduce potential traffic issues.

Vice Chairman Schulze asked if there were any additional public comments. None were received.

Vice Chairman Schulze indicated that the Planning Commission could potentially make a motion on the request.

Rich Erickson made a motion to recommend conditional approval of the proposed site plan and special land use amendments with the conditions that the site plan and use statement documents are revised to clearly specify the maximum number of guests and employees and the final site plan is stamped and signed by a registered professional. Steve Krause supported the motion. Motion carried by unanimous voice vote.

**PUBLIC HEARING #2/NEW BUSINESS #1: DMN Properties Shared Private Driveways for Proposed Land Division:**

Vice Chairman Schulze asked Zach Michels to provide a summary of the request.

Zach Michels stated that the request is for two (2) new shared private driveways to provide access to properties that would result from a proposed land division. He described shared private driveways as they are defined in the Zoning Ordinance. He stated that both proposed shared private driveways would take access from existing private roads which would require consent from the association having jurisdiction of the private roads (Shannon Glen Association). He stated that there was initially a question regarding whether the private roads within Shannon Glen are considered conforming or nonconforming in reference to the current Zoning ordinance private road standards. He stated that the Zoning Ordinance does not clearly define “single access point”. He stated that, based on Township records, the private roads in Shannon Glen were originally approved with a single entrance with the condition that the entrance was



designed as a boulevard with two lanes of traffic spaced apart and divided by an island. He stated that the intent was to provide a secondary access point for emergency vehicle access if ever there was an instance where one of the two lanes was obstructed. He stated that, based on the previous approval of the Shannon Glen private roads, they are considered conforming and, therefore, could be expanded/extended by means of the proposed shared private driveways.

Zach Michels continued with his summary of the proposal. He made several suggestions to improve the maintenance agreement documents for the proposed shared private driveways including providing separate agreements for each shared private driveway and clarifying access for proposed "Lot 5". He stated that the drainage design and line of sight have been provided and appears to be sufficient. He stated that the proposal includes "T-style" turnarounds, which may be approved as an alternative to circular turnarounds/cul-de-sacs if the Planning Commission determines they meet the intent of the design standards and recommends approval. He stated that the fire inspector had previously expressed concerns regarding adding additional parcels that would take access from the existing Shannon Glen private roads. He indicated that since those concerns were expressed it was noted that there is a dry hydrant system available for use in the area and that they would recommend approval as long as deed restrictions were attached to the new parcels requiring fire suppression systems in all new residential dwellings. He stated that the site plan mentions traffic control devices that are not depicted in the drawings. He recommended that the traffic control devices are added to the site plan drawings.

Vice Chairman Schulze asked if the applicant or a representative of DMN was present and if they would like to address the Planning Commission regarding the request.

Brent LaVanway (authorized agent of the applicant) introduced himself and the applicant (Dave Bair). He provided a summary of the request to the Planning Commission. He noted the location of the subject property and stated that he would respond to the items noted by the Planner in his review. He stated that, in regards to the access for proposed "Lot 5", access would be limited and restricted to only the east proposed shared private driveway. He stated that they understand the comments noted by the Planner and would be willing to make adjustments to the plans and documents as requested by the Planning Commission. He asked if the Planning Commission had any questions regarding the proposal.

Vice Chairman Schulze asked what the total length from the end of Riverwalk Drive to the T-turnaround was. Brent LaVanway indicated that it was eight hundred and fifty feet (850') and the other shared private driveway distance was slightly shorter, around six hundred and fifty feet (650'). Vice Chairman Schulze asked if there were separate maintenance agreements for each proposed shared private driveway. Brent LaVanway indicated that there is currently only one maintenance agreement drafted, but they would be revising it to be two separate agreements. Vice Chairman Schulze asked how far the dry hydrant system is from the proposed shared private driveways. Brent LaVanway indicated that the dry hydrant is located at Faussett Road. He noted that the Fire Department's review indicated that the distance would be acceptable as long as all new single-family dwellings on parcels resulting from the land division would be required to install residential fire suppression systems. Rich Erickson asked if there was any particular reason they are proposing T-style turnarounds. Brent LaVanway indicated that, based on the number and layout of parcels that would result from the land division, they determined



that the T-style turnarounds would be most appropriate. Jon Ward asked Ross Nicholson and Zach Michels if the Shannon Glen private roads and proposed shared private driveways could be approved under the current Zoning Ordinance standards based on the length, number of lots, and access point. Ross Nicholson indicated that the Zoning ordinance does have specific standards regarding the maximum length and number of units, but some deviations may be granted, depending on review and recommendations from the fire authority having jurisdiction. Zach Michels weighed in, stating that it depends on a number of factors. He stated that the interpretation of “single access point” has a lot to do with whether or not approval could be considered. He stated that International Fire Code dictates certain design requirements such as maximum length and maximum number of units. He stated that it is fairly common in other municipalities that better define single access points in their ordinances that boulevard approaches are not considered to be single access points. Vice Chairman Schulze weighed in, stating that the fire authority gave the OK for the proposed shared private driveways with the conditions that a dry hydrant system is available in the area and that all new residential dwellings install fire suppression systems. The Planning Commission briefly discussed.

Vice Chairman Schulze asked if there were any additional questions from the Planning Commission. None were received.

Vice Chairman Schulze opened the floor to accept public comments.

Shari Pollesch (attorney representing the Shannon Glen Association) stated that she wants to make sure the Planning Commission is aware that final approval of the proposed shared private driveway should be conditional upon the Association granting permission to use the private roads. She noted that there are thirty-five (35) existing lots that currently take access from the Shannon Glen private road system.

Vice Chairman Schulze asked if there were any additional public comments. None were received.

Vice Chairman Schulze asked the Planning Commission if they had any additional questions or comments. The Planning Commission briefly discussed. Vice Chairman Schulze noted that any favorable recommendation would be conditional upon consent/approval from the Shannon Glen Association for use of the private roads. He asked Ross Nicholson for confirmation. Ross Nicholson confirmed. The Planning Commission briefly discussed and compiled a list of potential conditions with Zach Michels. The list included: approval for use of the private roads from the Shannon Glen Association, providing two separate maintenance agreements (one for each shared private driveway), placing deed restrictions for fire suppression on the resulting parcels, clarification of the proposed access for “Lot 5”, and noting that the Planning Commission grants a design waiver for the T-style turnarounds.

Steve Krause made a motion to recommend conditional approval of the DMN shared private driveway application with the conditions that the maintenance agreement documents are revised so that each shared private driveway has a sperate agreement, approval for use of the private roads is obtained from the Shannon Glen Association, deed restrictions requiring fire suppression for all residential dwellings erected on the parcels resulting from the land division are recorded,



the documentation is revised to specify that Lot 5 will take access exclusively from the east shared private driveway, and the site plan is revised to include traffic control devices, noting that the Planning Commission is recommending approval of the T-style turnarounds. Rich Erickson supported the motion. Motion carried by unanimous voice vote.

Steve Krause made a motion to close the public hearing and resume the regular meeting. Rich Erickson supported the motion. Motion carried by unanimous voice vote.

Vice Chairman Schulze closed the public hearing to resume the regular meeting.

### **OLD BUSINESS #3 (continued): Durocher Special Land Use Site Plan Amendment:**

Vice Chairman Schulze recommended that the Planning Commission pick up on the discussion where they left off before the public hearing.

The Planning Commission briefly recapped the items that had been previously discussed. The Planning Commission briefly discussed on-site maintenance of vehicles and equipment with the applicant.

Bill Wood stated that there may be a need to operate outside the listed hours of operation. He provided an example where a load of sand may be required to address an oil spill on a public roadway outside of regular business hours. Vice Chairman Schulze asked if the listed hours of operation would also include emergency services. Gerry Durocher stated that the hours listed do not take into account emergency services that may occur outside of regular business hours. The Planning Commission briefly discussed with Ross Nicholson and Zach Michels. Vice Chairman Schulze asked if they should ask that the use statement is amended to include a statement regarding emergency services. Zach Michels indicated that it may help to include a statement to that effect.

Scott Dietrich (resident) stated that the Planning Commission should impose a maximum height requirement for vehicles and equipment stored on site. He stated that they should require that there are no chemicals stored on site. He stated that the hours of operation are concerning due to the location of the driveway approach which is along a curve.

Jon Ward asked Zach Michels what type of equipment and material storage the Zoning Ordinance allows and whether or not there is a height limit. Zach Michels indicated that the Zoning ordinance does not specifically limit the height of equipment or stockpiles for such uses, but does require screening. Zach Michels continued, stating that the Planning Commission could require greater setbacks and/or additional screening and/or fencing in certain areas of the site if deemed necessary. The Planning Commission briefly discussed.

Vice Chairman Schulze asked if the Planning Commission felt that additional information would need to be provided prior to scheduling the required public hearing. Vice Chairman Schulze asked Ross Nicholson if the Planning Commission is required to take action on the application at this time. Ross Nicholson indicated that formal action would not be required but recommended that the Planning Commission should provide the applicant with direction so they can make the



necessary revisions to the application documents prior to the public hearing. Ross Nicholson recommended that the applicants take the recommendations the Planning Commission had discussed today and come back with revised application documents and plans, at which time they could schedule the public hearing. Vice Chairman Schulze asked the applicant if he had any questions for the Planning Commission. Tim Zimmer stated that they understand the Planning Commission's requests and would work to revise the application documents and plans so they can come back for the public hearing.

No action was taken.

### **CALL TO THE PUBLIC:**

Vice Chairman Schulze asked if there were any additional public comments. None were received.

### **MISCELLANIOUS BUSINESS #1: Master Plan Preparation:**

Vice Chairman Schulze asked Zach Michels to briefly summarize the Master Planning process. Zach Michels summarized the purpose and intent of community master plans. He stated that there are a variety of methods municipalities use to generate and implement master plans. He recommended that the Planning Commission read through the current Master Plan to begin formulating ideas and providing direction in terms of the scope of work necessary to make updates. Vice Chairman Schulze stated that there is significant interest in the community to create a timeline/scope of work plan to guide the master planning process. The Planning Commission briefly discussed how to maximize public involvement/participation with Zach Michels. Discussion continued regarding initiating the master planning process.

Scott Dietrich (resident) stated that the Master Plan survey should seek input from residents on how they would like to see Township-owned property utilized.

Discussion on the master planning process amongst the Planning Commission and Zach Michels continued. Vice Chairman Schulze asked Zach Michels to put together some rough direction on the process to be discussed during a future meeting.

Jannette Ropeta (resident) thanked the Planning Commission for discussing the Master Plan and involving the public. She asked the Planning Commission what the budget will be for the master planning process. She stated that there are members of the public in attendance that were involved in the previous master planning process. She stated that she would like to see a roadmap/workplan. She stated that she would love to help in the process. She stated that if the Township plans on generating a survey for the Master Plan that she would like herself and other residents to be involved in determining survey questions. She stated that she understands that the Township currently has a good Master Plan and that many communities review their current Master Plan before creating a new one or making revisions. She stated that there are many residents who are very eager to help with the master planning process. She said there is a resident who spent hours of time and lots of money taking master planning training who would like to be involved.



355 Vice Chairman Schulze thanked Jannette for her comments and indicated that the Township  
356 Board would need to work on coming up with a budget for the Master Plan.  
357  
358 The meeting was adjourned at 8:42 pm by Vice Chairman Schulze.



# **OLD BUSINESS #1**

Foster Storage Condominium Special Land Use





**Carlisle | Wortman**  
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

March 1, 2022

# Special Land Use and Combined Preliminary and Final Site Plan Review for Tyrone Township, Michigan

## PETITION INTRODUCTION

**Applicant:** Brendan and Stephanie Foster  
**Owner:** Benecor INC  
**Request:** Special land use and combined preliminary and final site plan for a mini-warehouse facility  
**Plan Date:** January 17, 2022 (*site plan*)  
May 4, 2021 (*building plan*)  
**Use Statement Date:** undated

## PETITION DESCRIPTION

The applicant is requesting a special land use and combined preliminary and final site plan for a new mini-warehouse facility. The proposed mini-warehouse facility will be a condominium, with individuals owning their unit, rather than renting them.

The site will include a total of 115 individual units, measuring roughly 770 square feet to 818 square feet, each with a private powder room. The units will be located within 7 buildings.

The site plan calls for regrading the site, installing a stormwater management system, adding landscaping, and adding paved surfaces for parking/unloading and access.

The Planning Commission reviews site plan/special land use applications and makes a recommendation, and the Township Board makes the final decision.

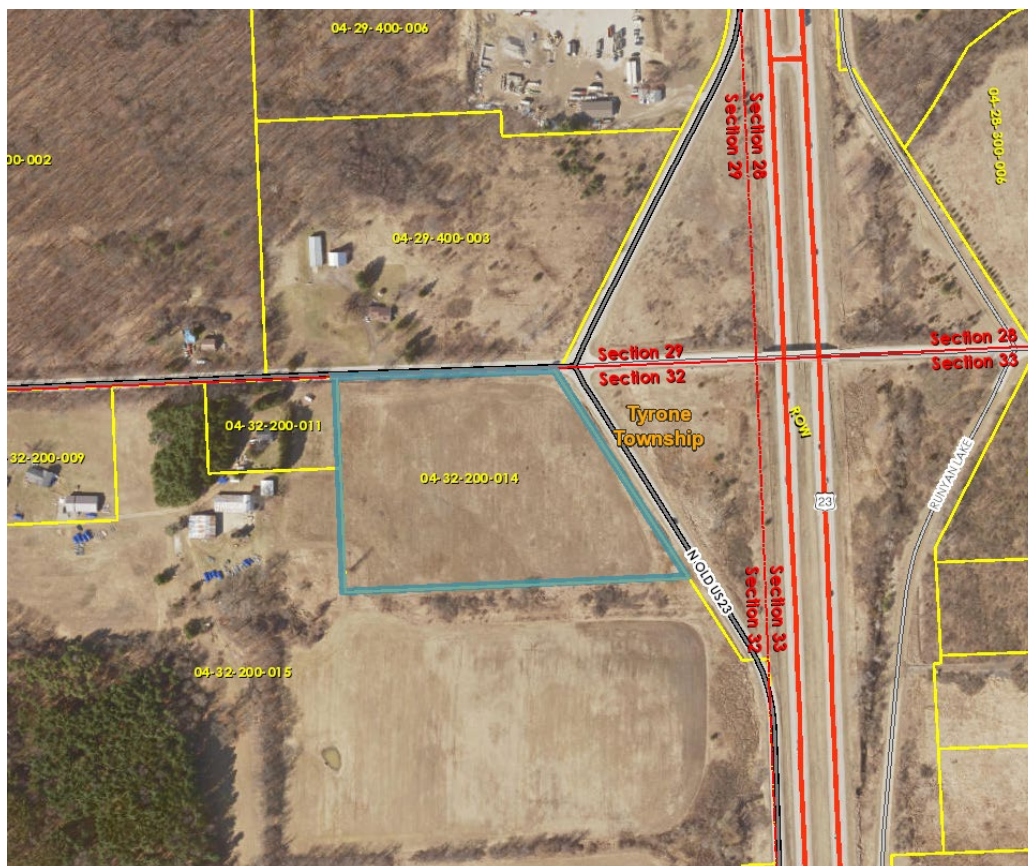


## PROPERTY INFORMATION

Address: n/a  
Location: Southwest corner of Old US-23 and Faussett  
Parcel Number: 4704-32-200-014  
Lot Area: ~9.55 acres (*net*)  
~10.00 acres (*gross*)  
Frontage: ~582 feet along Faussett  
~672 feet along Old US-23  
Existing Land Use: Vacant

The property is outlined below with the blue line.

### Aerial of the Site





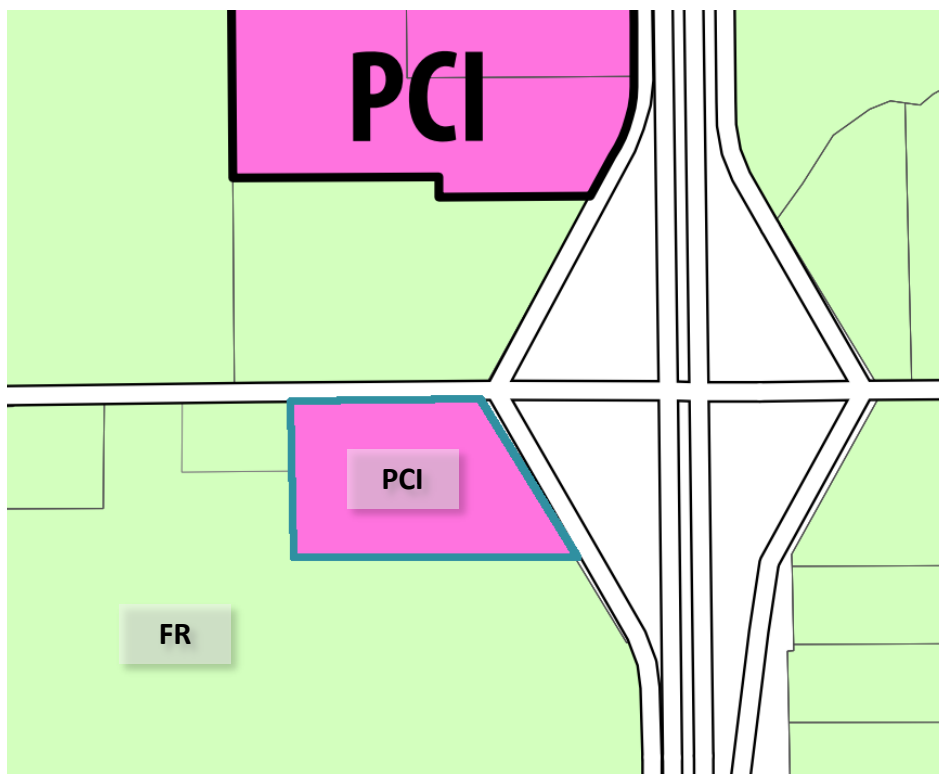
## ZONING

The site is within the PCI Planned Commercial Industrial district. A summary of the intent of that district is below.

**Current Zoning:** PCI Planned Commercial Industrial

*The PCI Planned Commercial Industrial District is designed to accommodate land extensive commercial uses serving both residents and businesses in the Township. These uses typically include outdoor storage or display, may require large sites, access to a major thoroughfare, and may have offsite impacts. Standards are provided to create an environment of consistent attractive character and design with generous landscaping, screening, and attractive buildings, where permitted uses will not negatively impact adjacent uses in other zoning districts. The PCI District is intended to be located near the freeway, with interchange access but not immediately adjacent to the interchange. Therefore, the appearance of uses in this district is important to the image of the community and maintaining the quality of life.*

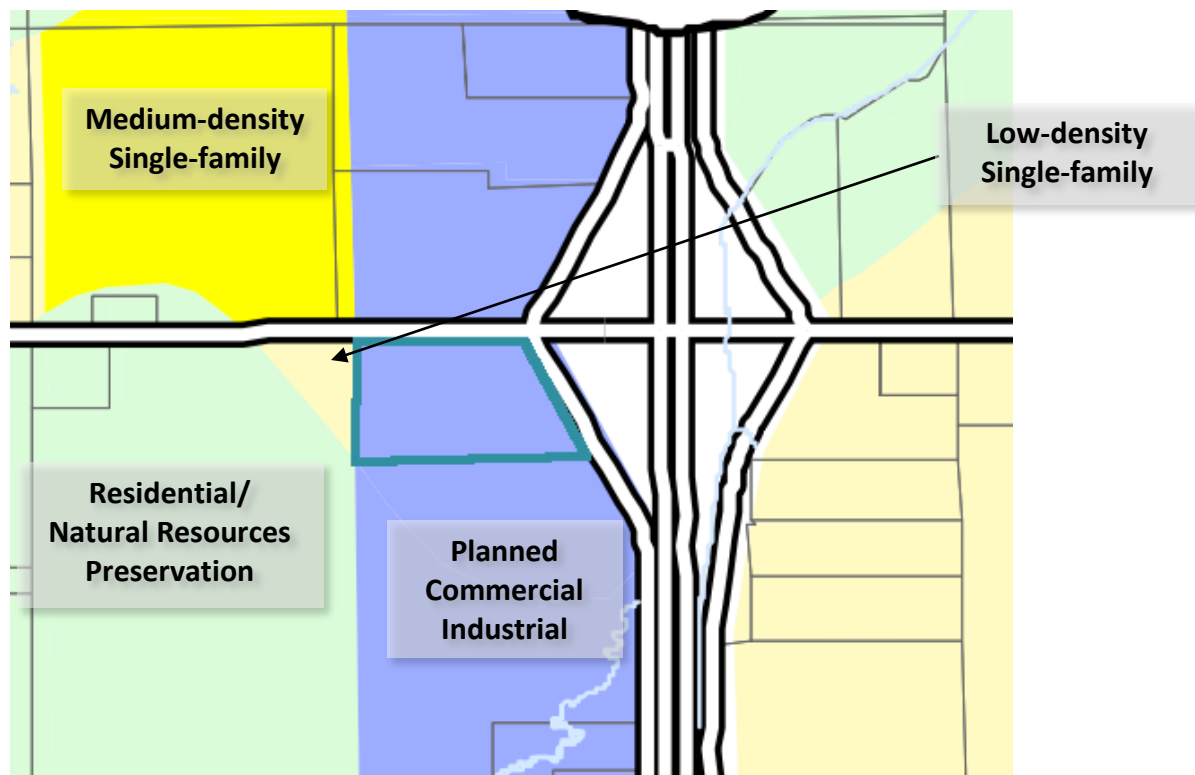
**Current Zoning Map**





Future Land Use Map      Planned Commercial Industrial  
South of the area planned as

## Future Land Use Map





## SURROUNDING PROPERTIES

The surrounding properties are used for single-family dwellings, agricultural uses, or are undeveloped.

	North	East	South	West
Surrounding Zoning	<i>FR Farming Residential</i>	<i>FR Farming Residential (across US-23)</i>	<i>FR Farming Residential</i>	<i>FR Farming Residential</i>
Surrounding Land Uses	<i>Single-family house, Woodlands</i>	<i>Undeveloped, Woodlands (across US-23)</i>	<i>Agricultural fields</i>	<i>Single-family houses, Agriculture</i>
Future Land-Use Map	<i>Planned Commercial Industrial</i>	<i>Low Density Single Family Detached Residential (across US-23)</i>	<i>Planned Commercial Industrial</i>	<i>Low Density Single Family Detached Residential</i>

## NATURAL RESOURCES

**Topography:** The site has a regular slope downward from the west to the east, with a change in elevation of roughly 43 feet (*995 feet to 952 feet*). Slopes are between 2 and 12 percent. Existing and proposed grading are shown throughout the site plan.

**Wetland:** According to the EGLE Wetlands Map Viewer, there are hydric soils on a portion of the property, but there are no wetlands.

**Woodland:** There are no woodlands on the property.

**Soil:** According to the USDA National Resource Conservation Service, a majority of the soils on the site are Hillsdale sandy loam and Wawasee loam.

*Items to be Addressed:* A soil map should be added to the site plan.

## AREA, WIDTH, HEIGHT, & SETBACKS

The proposed site, buildings, and improvements must meet the developmental standards for the zoning district in which it is located. Additional specific standards for mini-warehouse facilities, found in §22.05(M) Mini-Warehouses of the Zoning Ordinance, are explored in the Mini-Warehouse Facilities section of this report.

The location of buildings and other improvements are shown on the site plan. The site plan also describes other developmental information.



## Developmental Standards

	PCI district	Proposed	Complies
Lot Area (min)	1 acre	~9.5 acres	Yes
Lot Width (min)	150 feet	~582 feet (Faussett) ~672 feet (Old US-23)	Yes
Setbacks			
Front	65 feet <sup>1</sup> (Faussett) 113 feet <sup>2</sup> (US-23)	64.9 feet (building to Faussett) 101.5 feet (building to Old US-23) ?? feet (parking/access lanes to Old US- 23)	Yes, No
Side	50 feet <sup>3</sup>	50 feet	Yes
Rear	100 feet	101 feet	Yes
Building Coverage	40 percent	23.8 percent	Yes
Building Height	40 feet	21.75 feet (to peak)	Yes

- 1) A variance for a reduced front-yard setback of 65 feet rather than the 100 feet required was approved on October 11, 2021.
- 2) A variance for a reduced front-yard setback of 113 feet rather than the 150 feet required was approved on October 11, 2021.
- 3) A variance for a reduced side-yard setback from the south of 50 feet rather than the 100 feet required was approved on October 11, 2021.

Although a variance was granted for a reduced front-yard setback from Old US-23 to the east, it appears that several improvements, including the accessory building on the eastern side of Building B, access/maneuvering lanes, and fence, extend into that reduced front-yard setback.

There are several sections of the Zoning Ordinance (§20.02(I), §25.02(C) *Prohibited Parking*, §25.03(J) *Setback Restrictions*) that limit the types of improvements, such as off-street parking or access lanes, within required setbacks.

**Items to be Addressed:** 1) The site plan shall be revised to remove improvements from the required front-yard setback. 2) A note referencing the granted variances shall be added to the site plan. 3) Setbacks from the eastern front lot line to the fence and access lanes shall be added to the site plan.



## ACCESS & CIRCULATION

The mini-warehouse facility will be accessed by a single driveway, from Faussett Road to the north. The driveway will be paved and access into the site will be controlled by a security gate. Details about the security gate and the ability for first responders to open the gate have not been provided.

The proposed internal circulation areas will provide two-way movement.

The site plan should be reviewed by the fire inspector and include turning radius for typical fire apparatus and any locations and markings for fire lanes.

Additional circulation comments are addressed in the Mini-warehouse Facility section of this report.

***Items to be Addressed:*** 1) Approval of the driveway by the Livingston County Road Commission. 2) Circulation review and approval by the fire inspector. 3) Turning radius for fire apparatus to be added to the site plan. 4) Security gate details, including first responder accessibility, shall be added to the site plan.

## OFF-STREET PARKING & LOADING

The site plan calls for 2 dedicated parking spaces to the east of an accessory building on the northeastern corner of the site. The rest of the parking and loading will be accommodating adjacent to the individual units.

These loading/unloading areas should be delineated with paint and signs posted for no parking in any fire lanes.

Additional off-street parking and loading comments are addressed in the Mini-warehouse Facilities section of this report.

***Items to be Addressed:*** Loading/unloading spaces and access lanes shall be clearly marked with paint, to be shown and noted in the site plan.

## ESSENTIAL SERVICES

The site will be served by public water and sanitary sewer systems, connecting with existing infrastructure to the east along Old US-23. The locations of these lines are shown on Sheets 400 to 401.

The site will be served by electrical service from an existing pole on the northeast corner of the site. The site plan shows the location of a buried feed from this pole to an accessory building, but the locations of electrical distribution lines to other buildings are not shown.



The site plan does not show the location of a dumpster enclosure. The applicant should clarify how refuse will be managed and include details on the site plan.

Stormwater will be managed on-site. Landscaped areas on the western and southern sides of the site will be contoured to direct stormwater to a forebay and detention basin on the southeastern portion of the site. Hardscaped areas, including buildings and paved areas, will be sloped to direct stormwater to catch basins, which will then direct the stormwater to the forebay and detention basin. An outlet from the detention basin will direct overflow to the east, along Old US-23.

***Items to be Addressed:*** 1) Water and sanitary sewer approval by the utility agency. 2) Location of all electrical service lines shall be added to the site plan. 3) Applicant shall clarify refuse management. 4) Stormwater management system approval by the Township Engineer and Livingston County Drain Commissioner.

## LANDSCAPING & SCREENING

A landscape plan is included on Sheet C500. It shows the location of proposed landscaping along the boundaries of and within the site and includes a planting list and landscaping calculations.

The proposed landscaping appears to be consistent with the Zoning Ordinance standards. It includes a variety of plantings intended to screen the mini-warehouse facility. The Planning Commission should consider if the significant change in elevation from the developed area to Old US-23 warrants additional landscaping to provide the desired screening.

The landscaping plan does not appear to include any irrigation system.

***Items to be Addressed:*** 1) Planning Commission consideration if additional landscaping is necessary along Old US-23. 2) Irrigation system should be added to the site plan.

## LIGHTING

Sheet C402 includes a photometric plan. It shows the location of 26 proposed wall-mounted light fixtures.

A specification sheet for the proposed light fixtures is not included.

It appears that the lighting levels are consistent with Zoning Ordinance standards, but it is not possible to determine whether or not the light fixture design is consistent with Zoning Ordinance standards.

The building plans do not show light fixtures on the façade. Wall-mounted lighting can cause glare when the wall directly below the fixture is a light color.



**Items to be Addressed:** 1) Specifications for the light fixtures shall be added to the site plan. 2) Typical fixture location and details, including height and any treatment to reduce glare from the wall, should be added to the building plans.

## OUTDOOR ADVERTISING & SIGNS

The location for a proposed monument sign to the west of the entrance driveway is shown on Sheet C200. Additional information, such as height, sign area, or materials, are not included.

It appears that the proposed sign is located within the required clear-vision zone and may be closer to the right-of-way than allowed.

It is not possible to determine compliance with other sign standards based on the information provided at this time. The site plan notes that the sign will be under a separate permit.

**Items to be Addressed:** 1) Clear-vision zones shall be added to the site plan, as noted in §27.06(D). 2) Sign shall be relocated, if necessary, with setbacks dimensioned.

## MINI-WAREHOUSE FACILITIES

In addition to the general standards of the Zoning Ordinance, there are specific standards for mini-warehouses. These standards, outlined in §22.05 (M) Mini-Warehouses, are examined below.

1. Lot Area. The minimum lot area for mini-warehouses shall be two (2) acres.

**Comments:** The site is larger than the 2 acre minimum.

2. Enclosed Storage. Mini-warehouse establishments shall provide for storage only. All storage must be completely contained within an enclosed building.

**Comments:** The statement of use indicates that "there will be no outside parking as all belongings must be inside the owner's unit." A similar note should be added to the site plan.

3. Site Screening. The entire site, exclusive of access drives, shall be screened from adjacent properties and road rights-of-way. The Planning Commission shall approve the appropriate screening for the site consistent with one (1) or more of the following options:
  - a. Masonry Wall. A six (6) foot high masonry wall enclosure in order to protect nearby adjacent lots that may be adversely affected by the warehouses and truck traffic accessing the warehouse site.
  - b. Chain Link Fence. A six (6) foot chain link fence may be permitted along property lines that do not abut a residentially zoned district or residential use.
  - c. Landscaping. Landscape screening in accordance with the provisions of Section 21.35.



***Comments:*** *The site plan calls for a 6-foot-tall aluminum picket fence and landscaping around the mini-warehouse facility.*

4. Open Bays: Buildings must be oriented so that open service bays do not face adjacent major thoroughfares or arterial roads unless screened by an adjoining lot, building, or screening in compliance with M.3 above.

***Comments:*** *The service bays on the eastern façade of the easternmost building face Old US-23. Landscaping is proposed for screening between this building and the road, but the building will be elevated 10 to 15 feet above the road level, which may limit the effectiveness of the landscape screening.*

5. Exterior Appearance. The exterior of any mini-warehouse shall be of finished quality and design, compatible with the design of structures on surrounding property.

***Comments:*** *Sheet PR1 indicates the exterior walls will be prefinished insulated panels, as selected by the owner; the roof will be standing seam metal roof panels; and the bay doors will be insulated overhead doors.*

*Structures on surrounding properties are primarily residential. The closest structure built for commercial use is Suburban Propane to the north. That building includes a mix of masonry, glass, and metal on its façade with a flat roof.*

*A masonry band along the bottom of the structure or using a different color for a bottom band across the façades would be more consistent with the design of Suburban Propane and would reduce the apparent height and bulk of the proposed buildings.*

6. Resident Manager. A resident manager may be permitted on-site with the responsibility of maintaining the operation of the facility in conformance with the conditions of the approval. The manager's residence shall conform with the minimum dwelling unit floor area requirements of the RM-1 District provisions of this Ordinance.

***Comments:*** *The statement of use indicates that the association will not have any employees and that all maintenance will be done by contractors. The statement of use should be revised to clearly state that there will not be a resident manager.*

7. Circulation. On-Site Circulation and loading/unloading:
  - a. One-way Driveways. All one-way driveways shall be designed with one ten (10) foot wide loading/unloading lane and one fifteen (15) foot travel lane.
  - b. Two Way Driveways. All two-way driveways shall be designed with one ten (10) foot wide loading/unloading lane and two (2) twelve (12) foot wide travel lanes.
  - c. Signs. The loading/unloading lanes may be eliminated if the driveway does not serve storage units. Signs and painted lines shall be used to indicate loading/unloading areas and traffic direction throughout the site.



**Comments:** The proposed internal driveways will allow two-way movement. These driveways are 50 feet wide, which would allow for 2 travel lanes 12 feet wide and 13 feet wide loading/unloading lanes. The site plan does not show or include any notes about signage or paint to delineate the travel lanes from the loading/unloading lanes or to direct traffic throughout the site.

## APPLICABLE DECISION CRITERIA

The proposed mini-warehouse facility requires both special land use and site plan review. The decision criteria for those approvals are examined below.

### Site Plan Review

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Information that must be included in a site plan is outlined in §23.02 Site Plan Information.

Some required information is not included in the site plan, such as information for surrounding properties within 500 feet, dimensions for all improvements, specifications for lighting, and limits of disturbed area. The Planning Commission may grant a waiver from site plan information that it considers clearly unnecessary for substantial review.

**Comments:** Some of the information does not appear necessary for review, but some of the missing information is necessary to determine compliance with Zoning Ordinance standards.

Decision criteria for site plan review are outlined in §23.03 Standards for Site Plan Review. Comments addressing these standards are included throughout this report and below.

**Comments:** It is possible to determine general compliance with the standards of the Zoning Ordinance. However, it is not possible to determine complete compliance, which is the purpose of final site plan review. There are issues related to conformity with zoning district standards, lighting, refuse management, and parking delineation that will need to be addressed.

Because the project is a building condominium, the building plans should be incorporated into the site plan.

### Condominium Review

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The information that must be included in a condominium or site condominium is outlined in §21.43 Condominium Development Standards and Site Plan Review. Most of these standards are related to site condominiums, but some apply to all condominium developments.

The condominium plan is required to grant utility easements or the right of access as required by the Township to construct, operate, inspect, maintain utilities. We defer further comment to the Township Engineer.



Condominium documents, including master deed and bylaws, must also be provided for review for compliance with Township ordinances and inclusion of certain language. Draft condominium documents have not been provided at this time.

***Comments:*** 1) Condominium plan for utility easements approval by the Township Engineer. 2) Condominium document approval by the Township Attorney, Planner, and Engineer.

### **Special Land Use Review**

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The general review standards for special land uses are outlined in §22.04 General Review Standards for All Special Land Uses and are included below. Specific standards for mini-warehouse facilities have been examined in the Mini-warehouse Facilities section of this report. Comments addressing these standards are included throughout this report and below.

- A. Master Plan. The special land use will be consistent with the goals, objectives and future land use plan described in the Township's Master Plan.

***Comments:*** The proposed mini-warehouse facility is allowed as a special land use within the current zoning district and the Future Land Use Map. The Master Plan identifies the western side of US-23 for commercial activities.

- B. Zoning District. The special land use will be consistent with the stated intent of the zoning district.

***Comments:*** The proposed mini-warehouse facility is a special land use in the Planned Industrial Commercial district.

- C. Neighborhood Compatibility. The special land use will be designed, constructed, operated and maintained to be compatible with, and not significantly alter, the existing or intended character of the general vicinity in consideration of environmental impacts, views, aesthetics, noise, vibration, glare, air quality, drainage, traffic, property values or similar impacts.

***Comments:*** The proposed mini-warehouse facility will be a notable change from the existing character in the general vicinity. However, the general commercial nature of the facility is consistent with the intended character of the vicinity, as defined in the Master Plan.

*The site plan calls for landscaping around the boundary of the site.*

*There are some potential opportunities to place additional landscaping and/or adjust the appearance of the buildings to further reduce their perceived height and bulk.*

- D. Environment. The special land use will not significantly impact the natural environment.

***Comments:*** The proposed mini-warehouse facility is not likely to have a significant impact on the natural environment, in general. To ensure this, it would be advisable to include language in the site plan and statement of use limiting the storage of hazardous materials.



*Approval should be contingent on review and approval of the stormwater management plan to ensure no adverse impact from increased stormwater runoff.*

*Additional information may be necessary to ensure that the lighting will not have negative impacts on the surrounding environment.*

- E. Public Services. The special land use can be served adequately by public facilities and services such as police and fire protection, drainage structures, water and sewage facilities, refuse disposal and schools.

**Comments:** *The proposed mini-warehouse facility will be served by public water and sanitary sewer, with an on-site stormwater management system. It appears likely that it will not create significant demand for other public services.*

- F. Traffic. The proposed use shall be of a nature that will make vehicular and pedestrian traffic no more hazardous than is normal for the district involved, taking into consideration the following...

**Comments:** *It does not appear likely that the mini-warehouse facility would generate significant vehicular or pedestrian traffic and is likely to generate less traffic than typical commercial uses.*

- G. Additional Development. The proposed use shall be such that the location and height of buildings or structures, and the location, nature and height of walls, fences, and landscaping will not interfere with or discourage the appropriate development and use of adjacent land and buildings or unreasonably affect their value.

**Comments:** *It does not appear likely that the proposed use or structures would interfere or discourage development of adjacent properties.*

- H. Health, Safety and Welfare. The proposed use shall be designed, located, planned, and operated to protect the public health, safety, and welfare.

**Comments:** *If the Planning Commission determines that the proposed mini-warehouse facility is consistent with the standards in the Zoning Ordinances and other conditions it determines appropriate, the proposed mini-warehouse facility should not create a negative impact on public health, safety, or welfare.*

## SUMMARY & COMMENTS

For site plans and special land uses, the Planning Commission reviews applications and forwards it to the Township Board for its action.

There are a significant number of issues identified that would require additional attention or clarification before a decision on the final site plan should be made. It may be possible to determine general compliance with the Zoning Ordinance and make a favorable



recommendation on a preliminary site plan approval based on the information included in the application and site plan.

The Planning Commission may determine missing information may be necessary to make a decision. Missing information that the Planning Commission determines is not necessary for review could receive a waiver.

The Planning Commission could make a favorable recommendation, with or without conditions, if it determines decision criteria and developmental standards are met or would be met with conditions.

The Planning Commission could postpone action if it determines missing information is necessary for its review or there are significant or too many changes or conditions that would be necessary to receive a favorable recommendation at this time. If this is the case, it should direct the applicant to prepare revisions based on its review and provide guidance as to what additional information or changes would be necessary.

The Planning Commission could make an unfavorable recommendation it determines decision criteria and developmental standards are not met or could not easily be met with changes or conditions.

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#### **Planning Commission Decisions/Determinations/Findings**

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The list below includes items that require Planning Commission decision, determination, or finding.

1. *The Planning Commission should determine if additional landscaping is necessary along Old US-23.*
2. *The Planning Commission should determine if the proposed site screening is consistent with §22.05(M) Site Screening.*
3. *The Planning Commission should determine if the exterior appearance is of a finished quality and design that is compatible with the design of structures on surrounding property.*
4. *The Planning Commission should determine if missing information is eligible for a waiver because it is unnecessary for substantial review and state the reasons for waiving such requirements in writing or if it should be added to the site plan.*
5. *The Planning Commission should determine if the site plan is consistent with §23.03 Standards for Site Plan Review.*
6. *The Planning Commission should determine if the special land use is consistent with §22.04 General Review Standards for All Special Land Uses.*



## **Potential Conditions**

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Potential conditions have identified throughout this report to aid in the Planning Commission's deliberation.

Additional potential conditions could also be identified at the Planning Commission meeting.

1. *A soil map shall be added to the site plan.*
2. *The site plan shall be revised to remove improvements from the required front-yard setback.*
3. *A note referencing the granted variances shall be added to the site plan.*
4. *Setbacks from the eastern front lot line to the fence and access lanes shall be added to the site plan.*
5. *Driveway approval by the Livingston County Road Commission.*
6. *Turning radius for fire apparatus shall be added to the site plan.*
7. *Circulation review and approval by the fire inspector.*
8. *Turning radius for fire apparatus shall be added to the site plan*
9. *Security gate details, including first responder accessibility, shall be added to the site plan.*
10. *Loading/unloading spaces and access lanes shall be clearly marked with paint, to be shown and noted on the site plan.*
11. *Water and sanitary sewer approval by the Township Engineer and the utility agency.*
12. *Location of all electrical service lines shall be added to the site plan.*
13. *Refuse management shall be clarified.*
14. *Stormwater management system approval by the Township Engineer and Livingston County Drain Commissioner.*
15. *Irrigation system shall be added to the site plan.*
16. *Specifications for the light fixtures shall be added to the site plan.*
17. *Typical fixture location and details, including height and any treatment to reduce glare from the wall, shall be added to the building plans.*
18. *Clear-vision zones shall be added to the site plan, as noted in §27.06(D).*
19. *Sign shall be relocated, if necessary, with setbacks dimensioned.*
20. *Outdoor storage prohibition note shall be added to the site plan.*
21. *The site plan shall include notes about signage or paint to delineate the travel lanes from the loading/unloading lanes or to direct traffic throughout the site.*
22. *Building plan shall be incorporated into the site plan.*
23. *Condominium plan for utility easements approval by the Township Engineer.*
24. *Condominium documents approval by the Township Attorney, Planner, and Engineer.*



***Foster/Benecor Mini-warehouse Facility***

*Special Land Use and Combined Preliminary and Final Site Plan*

*March 1, 2022*

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25. *Language limiting storage of hazardous materials shall be added to statement of use and site plan.*

26. *Language prohibiting outdoor washing of vehicles, trailers, etc shall be added to statement of use and site plan.*

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**CARLISLE/WORTMAN ASSOC., INC.**

**Zach Michels, AICP**

**Planner**



RECEIVED

SEP 20 2021

TYRONE TOWNSHIP  
PLANNING & ZONING

TYRONE TOWNSHIP  
PLANNING COMMISSION REVIEW APPLICATION

Property Address / Location FAUSSETT + US -23 (OLO)		Parcel ID/Zoning District 4704-32-200-014
Property Owner(s) BRENDAN + STEPHANIE FOSTER		Telephone 248-379-4014
Street Address 10209 CARMER ROAD		Cell Phone
City LENTON	State and Zip Code MI 48430	FAX or E-Mail
Authorized Agent		Telephone
Street Address		Cell Phone
City		State and Zip Code

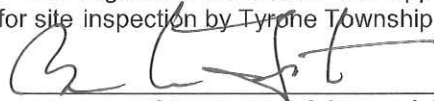
Type of Review:

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> Boundary Realignment    | <input type="checkbox"/> Open Space Relocation     | <input checked="" type="checkbox"/> Site Plan Review |
| <input type="checkbox"/> Concept Review          | <input type="checkbox"/> Private Road/Shared Drive | <input type="checkbox"/> Site Visit                  |
| <input type="checkbox"/> Conditional Zoning      | <input type="checkbox"/> Planned Unit Development  | <input type="checkbox"/> Special Land Use            |
| <input type="checkbox"/> Home Occupation         | <input type="checkbox"/> Public Hearing            | <input type="checkbox"/> Special Meeting             |
| <input type="checkbox"/> Land Division           | <input type="checkbox"/> Rezoning                  | <input type="checkbox"/> Subcommittee Meeting        |
| <input type="checkbox"/> Open Space Preservation | <input type="checkbox"/> Site Condominium          | <input type="checkbox"/> Subdivision Plat            |
| <input type="checkbox"/> Other                   |  |  |

Project Description:

See attached 

Planning Commission applications should be filed with the Planning Commission Recording Secretary at least 14 days (21 days for land divisions/realignments) prior to review. Applications will not be scheduled for review until all information has been received. This Signature constitutes the applicant's acknowledgement of the application requirements and permission for site inspection by Tyrone Township representatives.



Signature of Owner(s) or Authorized Agent

Date 9/20/21	Tax Status OK per ID	Fees: 101-000000-607-006 CK# 2028 \$1400.00	Escrow: 701-000000-283- CK# 2027 \$2000.00
Received By: KC			



RECEIVED

SEP 20 2021

TYRONE TOWNSHIP  
PLANNING & ZONING

## Tyrone Township Escrow Agreement

This Escrow Agreement is for the cost of review, inspection and monitoring of the project of the Applicant. This includes, but not limited to:

- a) The cost of the review of applications for approvals and variances;
- b) Site Plan Reviews;
- c) Any Planning Commission meetings;
- d) Special meetings;
- e) Reviews by Township Attorney and preparation of appropriate approving resolutions or ordinances;
- f) Reviews by Township planner and/or engineer;
- g) Publications and notices of public hearings or meetings;
- h) Traffic studies;
- i) Environmental impact studies;
- j) Engineering Construction Reviews
- k) Zoning administrator inspections and involvement;
- l) Any other services or expenses relating to the application, inspection or monitoring processes incurred by the Township that are necessary and incident to the completion of the work or project.

Accordingly the Applicant shall pay, simultaneously with the execution of this Agreement, the sum of \$2,600 to be held in escrow by the Township to cover the aforementioned costs and expenses. The escrow deposits shall bear no interest.

If, during the project, the escrow balance falls below the amount necessary to complete the project, the Applicant shall make additional deposits sufficient to cover any deficit.

Any excess funds remaining in any escrow account after the project completion will be refunded to the Applicant less any administrative fees.

If the project costs and expenses exceed the amount remaining in the escrow after final project approval, the Township shall send the Applicant a statement for such additional costs. Until the Applicant pays for such costs, no further Township permits or approvals shall be issued.

### TYRONE TOWNSHIP

By: Karie Carter

Its: Planning & Zoning Assistant

### APPLICANT

BRENDAN FOSTER

[Signature]



**TYRONE TOWNSHIP**

Receipt: 114156

09/20/21

8420 RUNYAN LAKE RD  
FENTON, MI 48430  
810-629-8631  
WWW.TYRONETOWNSHIP.US

Cashier: TDORSCH  
Received Of: BENECOR INC

400 S FENWAY DR  
FENTON MI 48430-2667

Payment for:  
4704-32-200-014  
ESCROW

The sum of: 2,000.00

BDINV 00018118

2,000.00

701-000.000-283.000

2,000.00

Total 2,000.00

TENDERED:

CHECKS

2027

2,000.00

Signed: \_\_\_\_\_



**TYRONE TOWNSHIP**

Receipt: 114155

09/20/21

8420 RUNYAN LAKE RD

FENTON, MI 48430

810-629-8631

WWW.TYRONETOWNSHIP.US

Cashier: TDORSCH

Received Of: BENECOR INC

400 S FENWAY DR

FENTON MI 48430-2667

Payment for:

OCT. PC MEETING

4704-32-200-014

The sum of:

1,400.00

BDINV

00018117

1,400.00

101-000.000-628.000

1,400.00

Total

1,400.00

TENDERED:

CHECKS

2028

1,400.00

Signed: \_\_\_\_\_



## **Old US – 23 and Faussett Road Storage Condo Development**

### **Statement of Use**

The proposed development consists of 114 individually owned Storage Condominiums that are 20' x 45'. The development will be a fenced in secured area with key padded entrance for only its owners. Hours of operations will allow for the owners to access their units 24 hours a day. We anticipate that essentially all owners will be accessing these units between the hours of 8 am and 8 pm. Because this is not accessible to the general public the daily entrance and exits will be minimal compared to a business.

The units are designed and built for the storage and parking of their assets such as RV's, Boats, Classic Cars, General Storage items, etc. There will be no outside parking allowed as all belongings must be inside the owner's unit. When an owner visits, they will either pull into their unit or park in the front of their garage.

The development will not have employees as the association will handle all the related maintenance and upkeep on the buildings and property through outside contractors. There will be security cameras and outside lighting for increased security and ambiance.



## **Old US – 23 and Faussett Road Storage Condo Development**

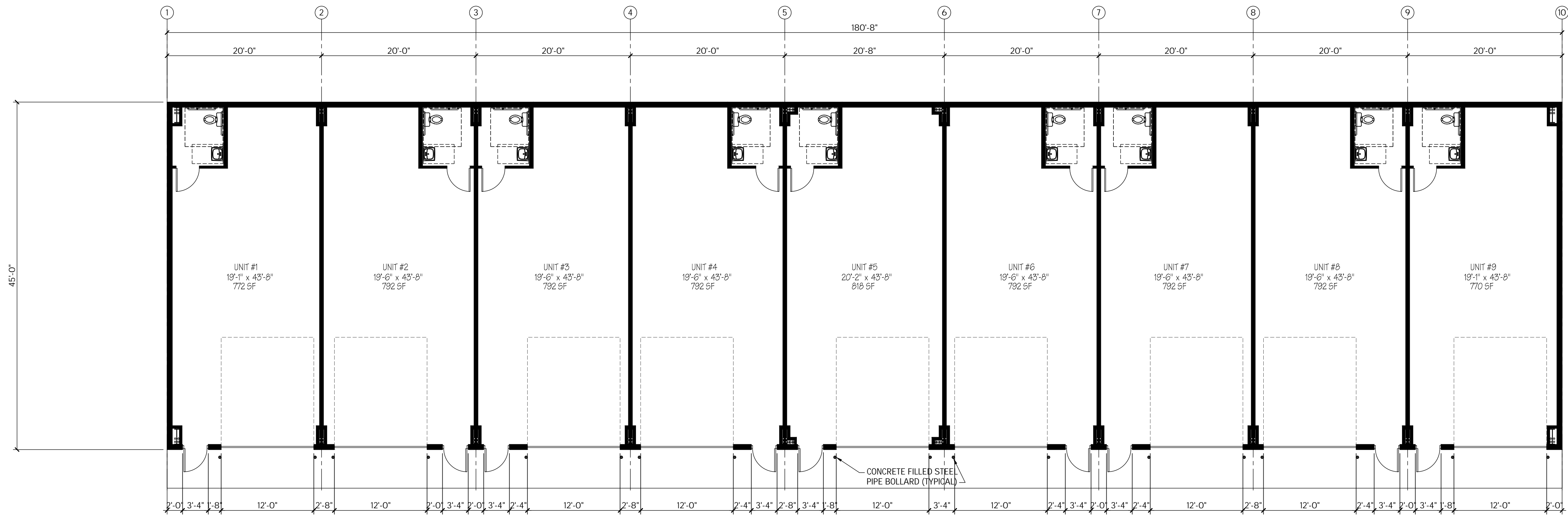
Brendan and Stephanie Foster – Owner/Developer

The plan is to take the owned 10 acres that is on the Southwest corner Old US-23 and Faussett Road and build 114 Storage Condo units each being 20' x 45' in size. These units will be owned by individuals to use for the storage of RV's, Boats, Classic Cars etc. the development will be done in a Class A appearance and construction.

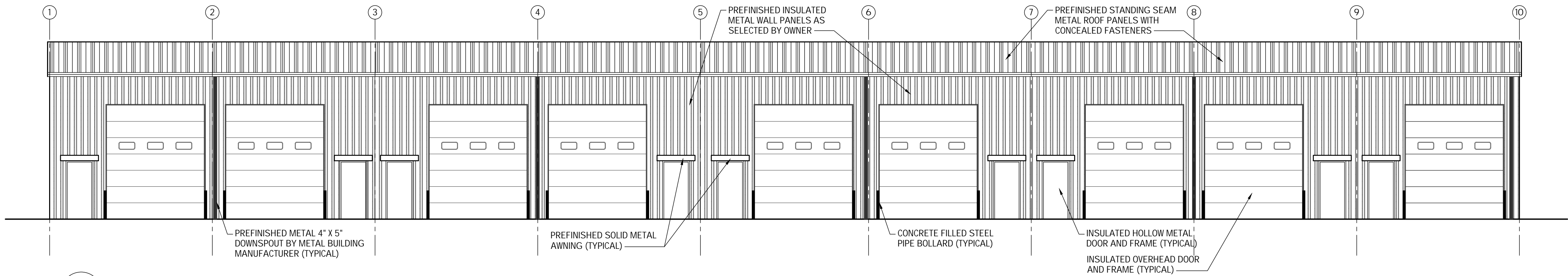




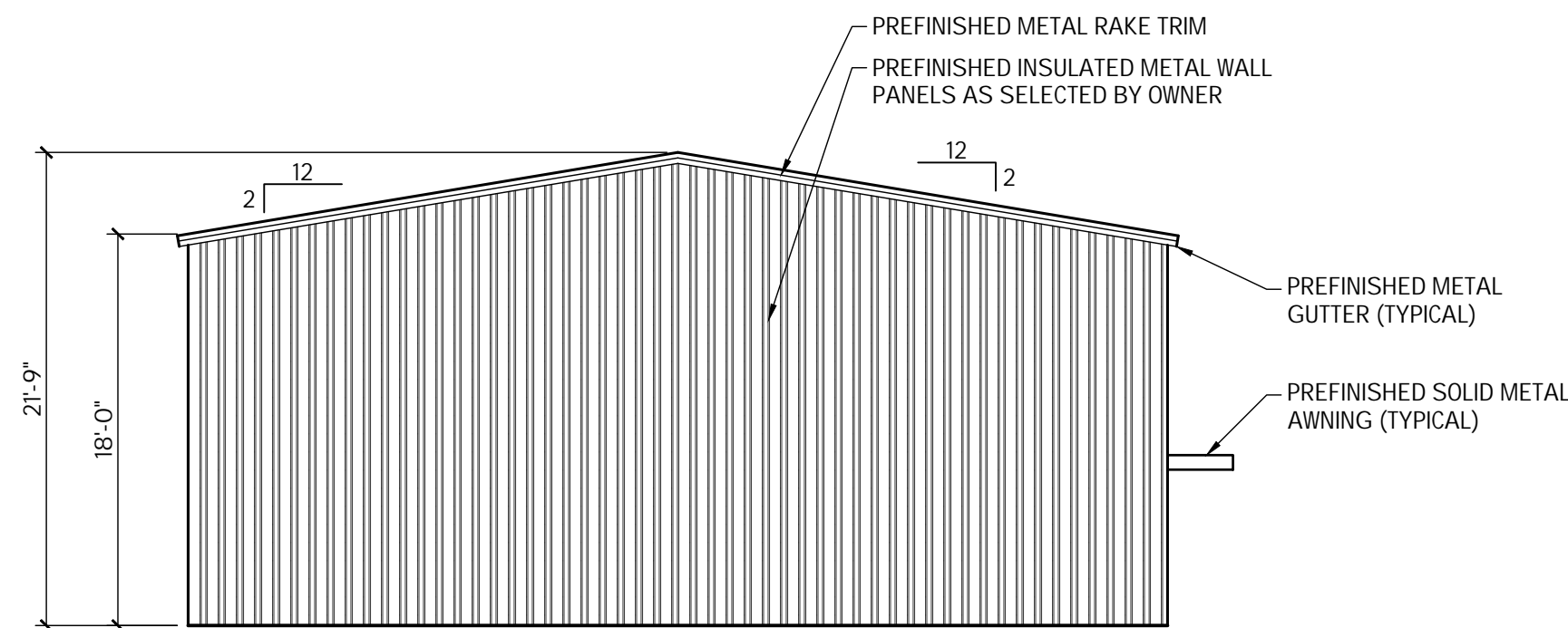




1 FLOOR PLAN  
PRI 1/8" = 1'-0"



2 FRONT ELEVATION  
PRI 1/8" = 1'-0"



3 END VIEW  
PRI 1/8" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

A NEW FACILITY FOR  
STORAGE CONDO'S

FENTON, MICHIGAN

PRELIMINARY PLAN

Daniel G. White, Architect

P.O. Box 695 8576 WEST FARM ROAD 76 WILLARD, MISSOURI 65781

(417)425-9618

DGWCREATIONS@GMAIL.COM

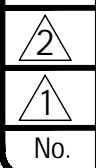
ARCHITECT FOR:

ZION CHURCH BUILDERS, INC

P.O. Box 218, MATTAWAN, MI 49071

(269)544-7211 • (269) 544-7216 FAX

EMAIL: ZIONCHURCHBUILDERS@GMAIL.COM



09FEB22

15MAY21

No.

Date

PROJECT NUMBER

21-08

ORIGINAL ISSUE DATE

04MAY21

PR1

© ---

OF 1

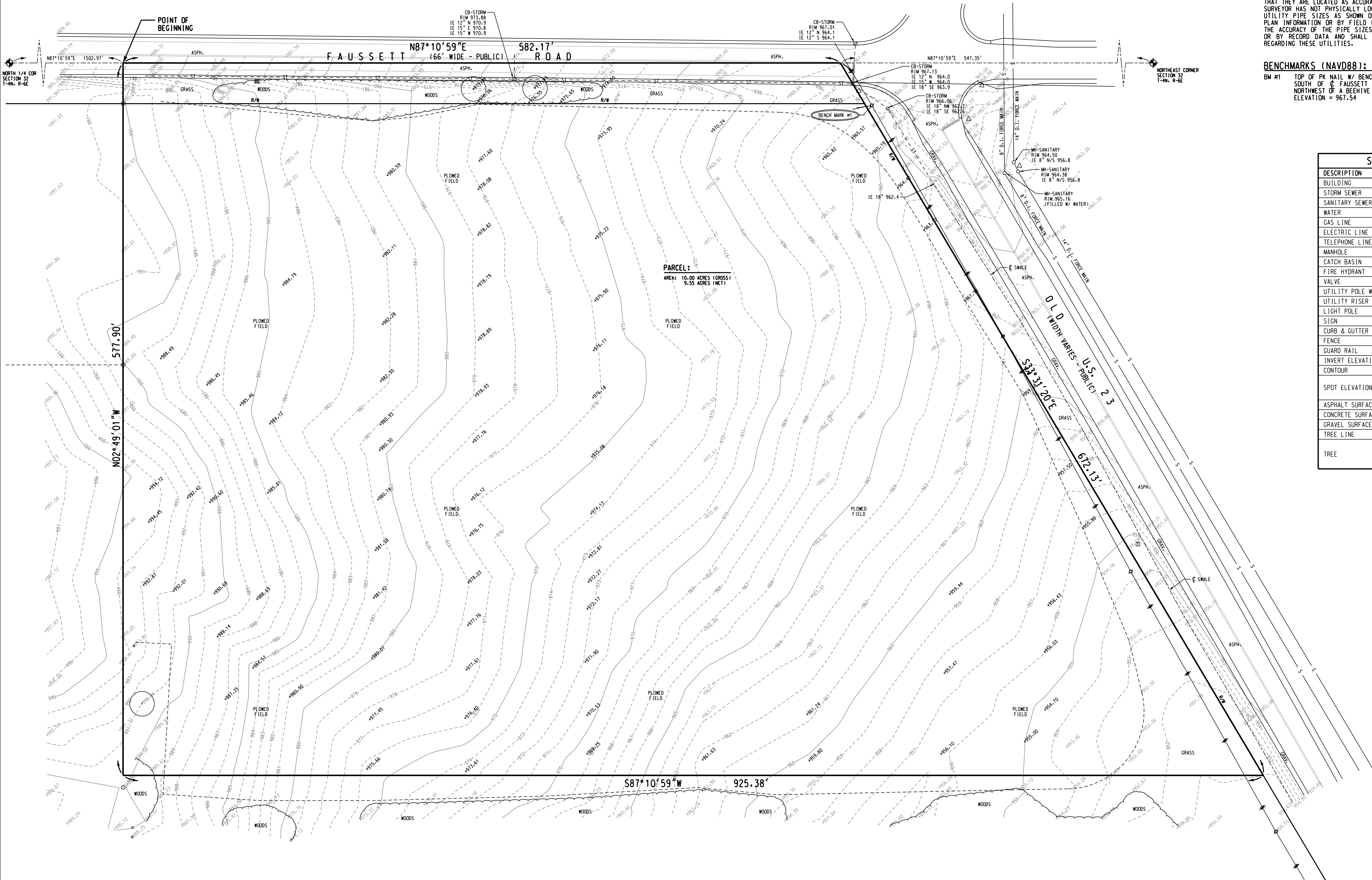


FAUSSETT ROAD & OLD US-23  
TYRONE TOWNSHIP, MICHIGAN

PART OF THE NORTHEAST 1/4 OF SECTION 32  
TOWNSHIP 4 NORTH, RANGE 6 EAST  
TYRONE TOWNSHIP, COUNTY OF LIVINGSTON, STATE OF MICHIGAN

FILE LOCATION: C:\Users\\*quoderer\*OneDrive - Griqas Quoderer Inc\Client\Benecor\*180301 Fousset+Cadd\*180301c000.dgn



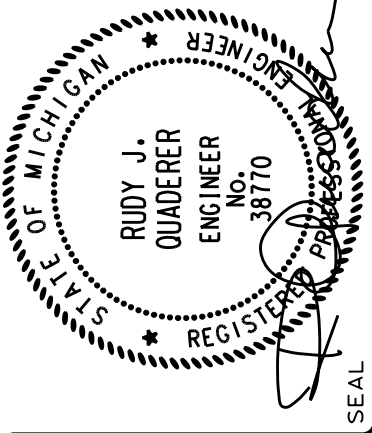
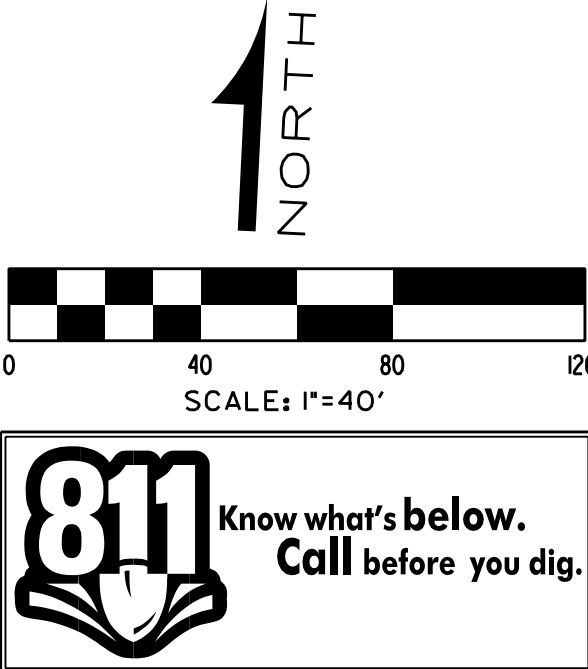


**PROPERTY DESCRIPTION:**  
A PARCEL OF LAND LOCATED IN THE NORTHEAST 1/4 OF SECTION 32, TOWN 4-NORTH, RANGE 6-EAST, TYRONE TOWNSHIP, LIVINGSTON COUNTY, STATE OF MICHIGAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 32, THENCE ALONG THE NORTH LINE OF SAID NORTHEAST 1/4 OF SECTION 32, N87°10'59"E, 1502.97 FEET TO THE POINT OF BEGINNING; THENCE FROM SAID POINT OF BEGINNING CONTINUING ALONG SAID NORTH LINE OF THE NORTHEAST 1/4 N87°10'59"E, 582.17 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY OF US-23; THENCE ALONG SAID WESTERLY RIGHT-OF-WAY S33°31'20"E, 672.13 FEET; THENCE S87°10'59"W PARALLEL WITH SAID NORTH LINE OF THE NORTHEAST 1/4, 925.38 FEET; THENCE N02°49'01"W, 577.90 FEET TO SAID POINT OF BEGINNING; CONTAINING 10.00 ACRES OF LAND.

**GENERAL UTILITY NOTE:**  
THE UTILITIES AS SHOWN ON THIS DOCUMENT WERE EITHER VERIFIED BY AN ACTUAL FIELD SURVEY OR WERE PLOTTED IN ACCORDANCE WITH THE BEST INFORMATION AVAILABLE. GRIGGS QUADERER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN INCLUDE ALL POSSIBLE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, GRIGGS QUADERER DOES NOT GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH GRIGGS QUADERER DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THE UNDERGROUND UTILITY PIPE SIZES AS SHOWN ON THIS DOCUMENT WERE OBTAINED EITHER BY RECORD PLAN INFORMATION OR BY FIELD MEASUREMENTS. GRIGGS QUADERER CAN NOT GUARANTEE THE ACCURACY OF THE PIPE SIZES OR THEIR LOCATIONS EITHER BY FIELD MEASUREMENT OR BY RECORD DATA AND SHALL NOT BE HELD RESPONSIBLE FOR ANY DISCREPANCIES REGARDING THESE UTILITIES.

**BENCHMARKS (NAVD88):**  
BM #1 TOP OF PK NAIL W/ BENCHMARK TAG IN SE FACE OF UTILITY POLE LOCATED 34' SOUTH OF C FAUSSETT ROAD, 47' WEST OF C OLD US-23 ROAD AND 13' NORTHWEST OF A BEEHIVE CATCH BASIN.  
ELEVATION = 967.54

STANDARD LEGEND	
DESCRIPTION	EXISTING
BUILDING	—
STORM SEWER	—
SANITARY SEWER	S
WATER	W
GAS LINE	G
ELECTRIC LINE	E
TELEPHONE LINE	T
MANHOLE	O
CATCH BASIN	□
FIRE HYDRANT	⊕
VALVE	⊙
UTILITY POLE W/GUY WIRE	⊕
UTILITY RISER	□
LIGHT POLE	*
STON	△
CURB & GUTTER	—
FENCE	—
GUARD RAIL	—
INVERT ELEVATION	IE 6" 750.00
CONTOUR	--- 750 ---
SPOT ELEVATION	+750.00
ASPHALT SURFACE	ASPH.
CONCRETE SURFACE	CONC.
GRAVEL SURFACE	GRAV.
TREE LINE	—
TREE	+



NO.	DATE	SUBJECT
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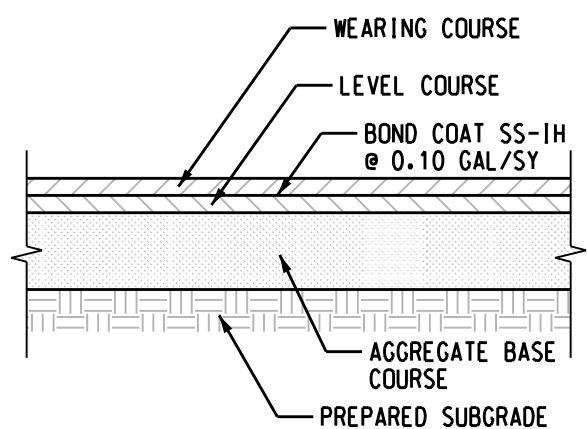
DRAWN	BRZEZINSKI
DESIGNED	
CHECKED	
FIELD CREW	

**US23 STORAGE DEVELOPMENT**  
**NEW SELF STORAGE CONDOMINIUMS**  
TYRONE TWP, LIVINGSTON COUNTY, STATE OF MICHIGAN  
TOPOGRAPHIC SURVEY PLAN  
DATE: 2/9/2022  
TIME: 12:14:08 PM

**Griggs Quaderer, Inc.**  
8308 OFFICE PARK DRIVE  
GRAND BLANC, MI 48499  
PH: (810) 695-0154  
FX: (810) 695-0158  
**CIVIL ENGINEERING - LAND SURVEYING**  
**SITE PLANNING**  
Griggs Quaderer Inc.  
Established 2004

PHASE: CONCP  
JOB NO.: 180301  
C100





#### LIGHT DUTY PAVEMENT SECTION



WEARING COURSE - 2" MDOT 13A  
LEVEL COURSE - 2" MDOT 3C

AGGREGATE BASE - 8" MDOT 21AA CRUSHED LIMESTONE

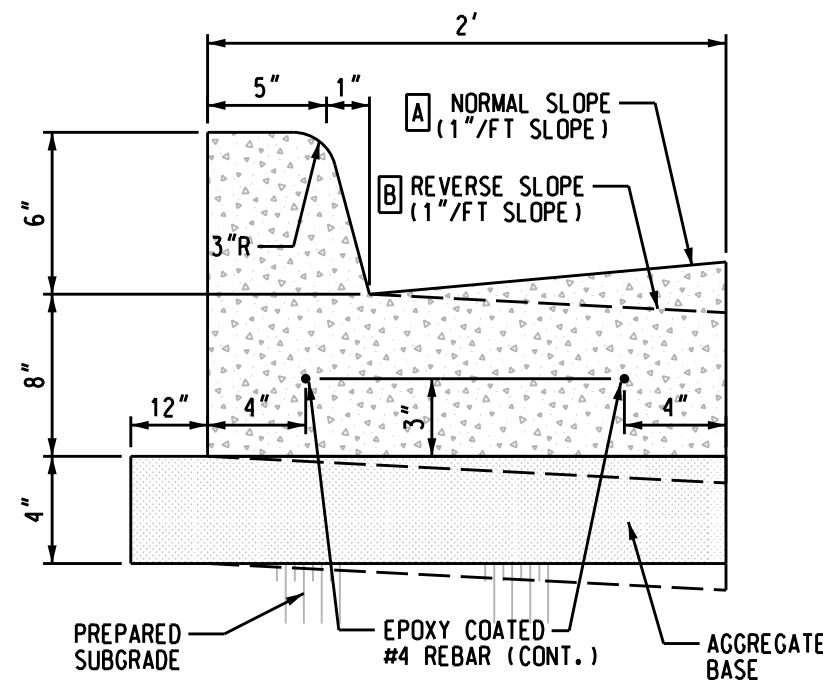
NOTE: AS AN ALTERNATE, CONTRACTOR IS ALLOWED TO SUBSTITUTE MDOT 21AA CRUSHED CONCRETE FOR THE AGGREGATE BASE.

#### ROAD RIGHT-OF-WAY PAVEMENT SECTION



WEARING COURSE - 2" MDOT 13A  
LEVEL COURSE - 4" MDOT 3C (2 LIFTS)

AGGREGATE BASE - 10" MDOT 21AA CRUSHED LIMESTONE



PROVIDE CONTROL JOINTS AT 10 FEET MAXIMUM SPACING AND DOWELED EXPANSION JOINTS AT 100 FEET MAXIMUM INTERVALS AND AT RADIUS POINTS

#### CURB & GUTTER DETAIL

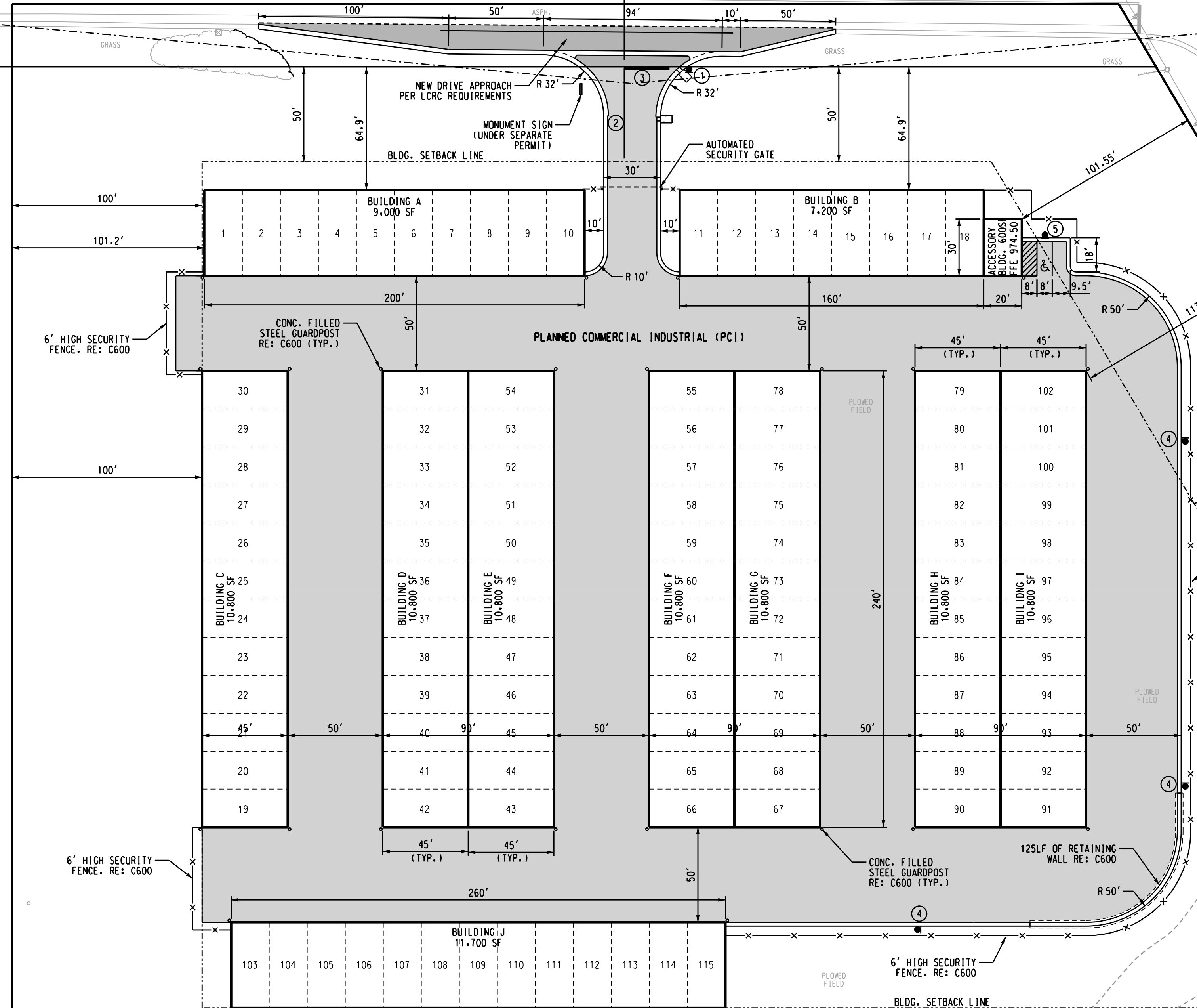
NO SCALE

ONSITE ONLY

FARMING RESIDENTIAL (FR)

334'

FAUSSETT (66' WIDE - PUBLIC) ROAD



#### PAVEMENT MARKING & SIGNAGE NOTES:

1. PARKING STALL WIDTH DIMENSIONS ARE TO CENTERLINE OF STRIPING.
2. ALL PAVEMENT MARKINGS SHALL BE 4" WIDE WHITE PAINT STRIPING UNLESS OTHERWISE INDICATED. ALL BARRIER FREE STRIPING SHALL BE COLORED BLUE AND IN ACCORDANCE WITH THE LATEST ADA STANDARDS FOR ACCESSIBLE DESIGN.
3. CONTRACTOR SHALL NOT APPLY TRAFFIC MARKING PAINT ON NEW ASPHALT UNTIL PAVEMENT HAS CURED A MINIMUM OF SEVEN (7) DAYS.
4. PAINT SHALL BE APPLIED WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES. APPLY IN TWO COATS AT MANUFACTURER'S RECOMMENDED RATES TO PROVIDE MINIMUM 10.0 TO 15.0 MILS WET THICKNESS.
5. ALL TRAFFIC CONTROL SIGNS SHALL CONFORM WITH ALL REQUIREMENTS AS STIPULATED IN THE MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
6. NUMBER OF PARKING SPACES (FOR INFORMATION ONLY)

#### LEGEND:

- CONCRETE PAVEMENT (RE: C200)
- LIGHT DUTY ASPHALT PAVEMENT (RE: C200)
- ROAD RIGHT-OF-WAY ASPHALT PAVEMENT (RE: C200)

#### SITE LAYOUT NOTES:

1. COORDINATES AND/OR DIMENSIONS SHOWN ON THIS DOCUMENT ARE TO BACK OF CURB, OUTSIDE FACE OF BUILDING FOUNDATIONS, EDGE OF PAVEMENT, CENTER OF STRUCTURE, CENTERLINE OF STRIPING UNLESS NOTED OTHERWISE.
2. NO DIMENSIONS SHALL BE SCALED OFF THE DOCUMENTS. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.
3. PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS AND OTHER OPENINGS TO KEEP OUT UNAUTHORIZED PERSONS AND FOR PUBLIC SAFETY AND TRAFFIC CONTROL. SAFETY PROVISIONS OF APPLICABLE LAWS SHALL BE OBSERVED AT ALL TIMES. BARRICADES LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.
4. NO EQUIPMENT OR MATERIAL STORAGE IS PERMITTED WITHIN THE ROAD RIGHT-OF-WAY.
5. CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREA SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
6. RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS AND TO THE SATISFACTION OF THOSE HAVING JURISDICTION.
7. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, SLAB AND UNDERBERD THICKNESS.
8. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL CONSTRUCTION LAYOUT AND GRADE ELEVATIONS FOR THEIR WORK IN ACCORDANCE WITH DATA SHOWN ON DOCUMENTS.
9. VERIFY EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
10. EXCAVATED AREAS WITHIN PROPOSED BUILDING AND PAVEMENT AREAS SHALL BE BACKFILLED TO FINISHED SUBGRADE ELEVATION WITH STRUCTURAL FILL (MDOT CLASS II SAND). THE SAND SHALL BE COMPACTED IN CONTINUOUS LAYERS NOT EXCEEDING 8 INCH LOOSE LIFTS, COMPACTED TO 95 PERCENT OF MAXIMUM DENSITY IN ACCORDANCE WITH ANSI/ASTM D 1557 MODIFIED PROCTOR.

#### LAND USE INFORMATION:

CURRENT ZONING:	PLANNED COMMERCIAL INDUSTRIAL (PCI)
PROPOSED ZONING:	PLANNED COMMERCIAL INDUSTRIAL (PCI)
CURRENT USE:	VACANT
PROPOSED USE:	INDIVIDUAL STORAGE UNITS (TOTAL 115)
TOTAL SITE AREA:	435,600 SF
TOTAL BUILDING AREA:	103,500 SF
LOT COVERAGE BY BLDG:	23.8%
TOTAL IMPERVIOUS AREA:	205,203 SF
LOT COVERAGE BY IMPERVIOUS:	47.1%

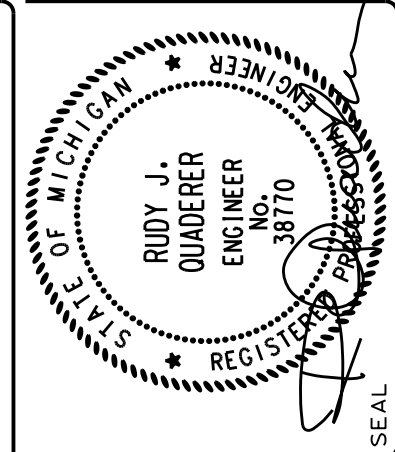
YARD SETBACKS:	BUILDING
	FRONT YARD 100LF (OLD US23), 50LF (FAUSSETT RD.)
	SIDE YARD 100LF
	REAR YARD 50LF

#### MARKING / SIGNAGE LEGEND:

1. STOP SIGN (R1-1)
  2. 4" SINGLE SOLID LINE, YELLOW
  3. 24" WIDE STOP LINE, WHITE
  4. NO PARKING - FIRE LANE
  5. ACCESSIBLE SIGN (R7-8)
- NO PARKING / NO DRIVING AREAS  
4" WIDE WHITE PAINT STRIPING  
2' ON CENTER @ 45', REFER TO PAVEMENT MARKING NOTE #2 FOR BARRIER FREE PARKING

#### PARKING DATA:

USE	REQUIREMENTS	PARKING REQUIRED	PARKING PROVIDED
INDIVIDUAL STORAGE UNITS	NOT KNOWN		2 SPACES
BARRIER FREE	1 - 25 SPACES	1 SPACE	1 SPACE
TOTAL			2 SPACES



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DRAWN	BRZEZINSKI
DESIGNED	
CHECKED	
FIELD CREW	

## US23 STORAGE DEVELOPMENT NEW SELF STORAGE CONDOMINIUMS

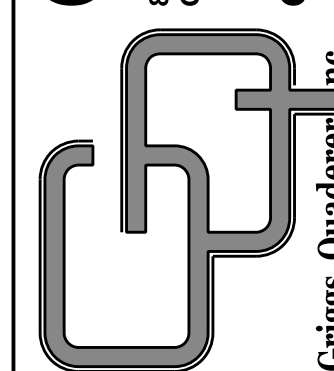
TYRONE TWP, LIVINGSTON COUNTY, STATE OF MICHIGAN

#### SITE LAYOUT PLAN

Griggs Quaderer, Inc.

8308 OFFICE PARK DRIVE  
GRAND BLANC, MI 48439

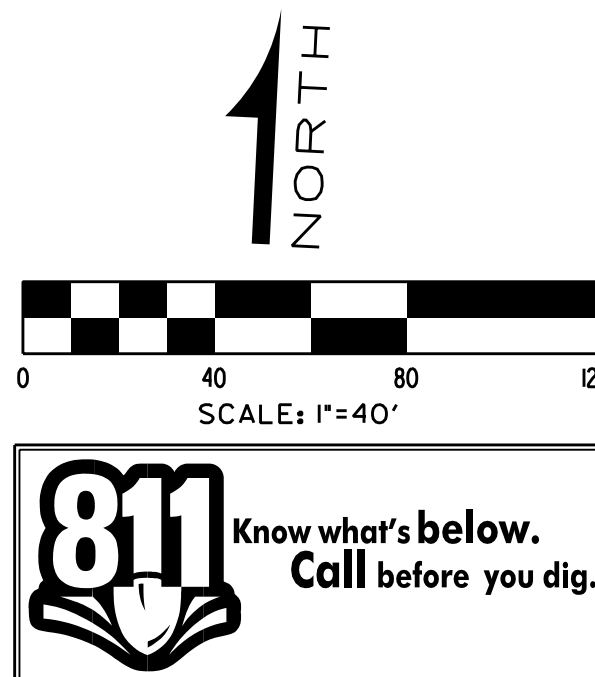
PH: (810) 695-0154  
FX: (810) 695-0158



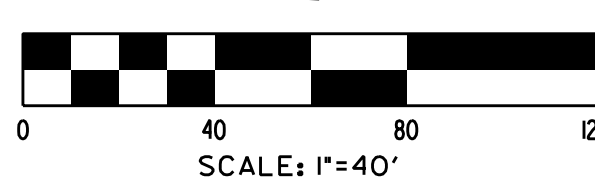
Established 2004

PHASE: 180301 CONCP

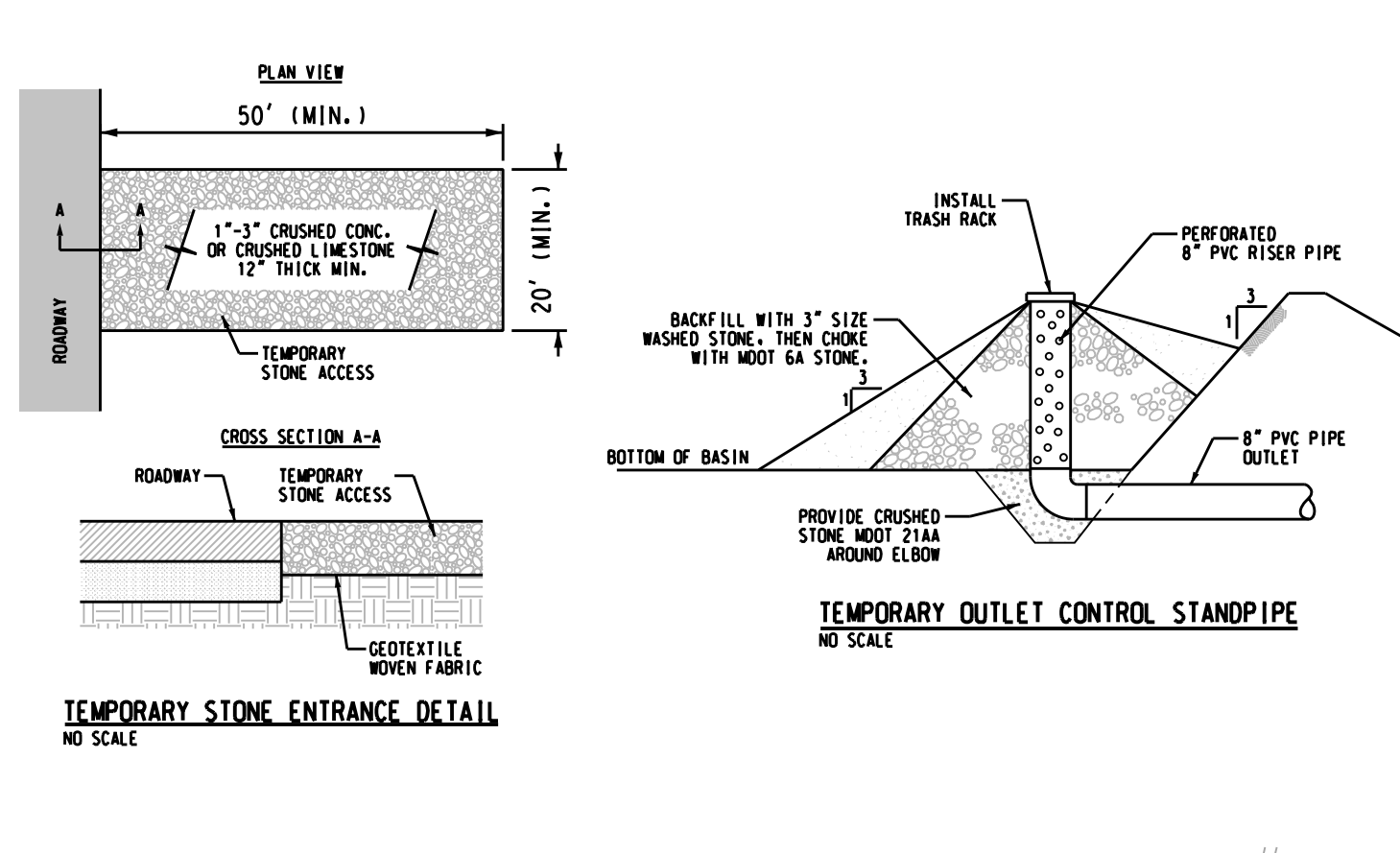
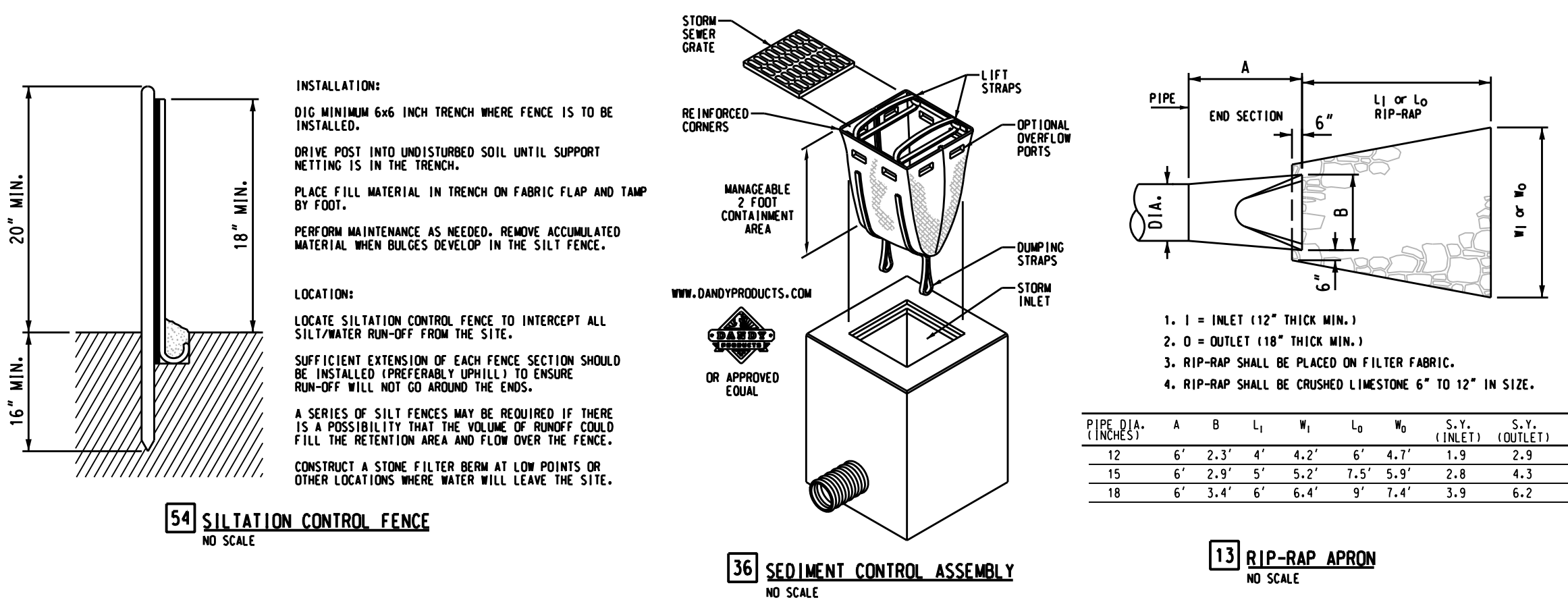
C200



NORTH







## SOIL EROSION CONTROL MEASURES:

2	SELECTIVE GRADING & SHAPING	WATER CAN BE DIVERTED TO MINIMIZE EROSION FLATTER SLOPES EASE EROSION PROBLEMS
6	GRADING WITH MULCH OR/AND MATTING	FACILITATES ESTABLISHMENT OF VEGETATIVE COVER EFFECTIVE FOR DRAINAGEWAYS WITH LOW VELOCITY EASILY PLACED IN SMALL QUANTITIES BY INEXPERIENCED PERSONNEL SHOULD INCLUDE PREPARED TOPSOIL BED
13	PIP-RAP/STABLE PAVEMENTS	USE WHERE VEGETATION IS NOT EASILY ESTABLISHED EFFECTIVE FOR HIGH VELOCITIES OR HIGH CONCENTRATIONS PERMITS RUNOFF TO INFILTRATE SOIL DISSIPATES ENERGY FLOW AT SYSTEM OUTLETS
36	CATCH BASIN, DRAIN INLET	COLLECTS HIGH VELOCITY CONCENTRATED RUNOFF USE FILTER SACK IN INLET
49	CHECK DAMS	REDUCES FLOW VELOCITY CATCHES SEDIMENT CAN BE CONSTRUCTED OF LOGS, STRAW, HAY, ROCK, LUMBER, MASONRY, OR SAND BAGS
54	SILT FENCE	USES GEOTEXTILE FABRIC AND POSTS OR POLES EASY TO CONSTRUCT AND LOCATE AS NECESSARY

## GRADING NOTES:

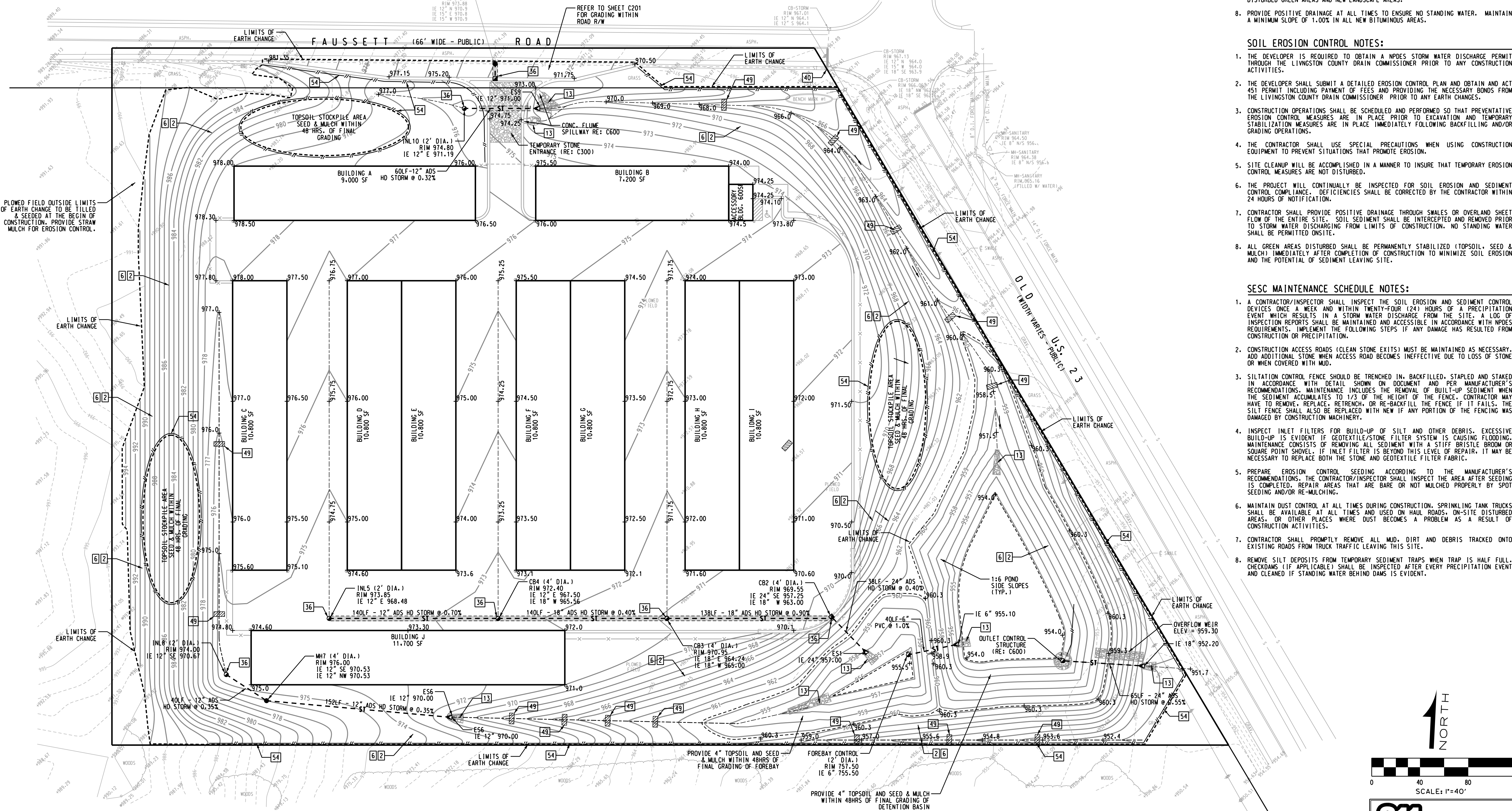
- ALL PROPOSED SPOT ELEVATIONS IN PAVED AREAS ARE TO TOP OF PAVEMENT UNLESS NOTED OTHERWISE.  
 TS - TOP OF SIDEWALK  
 TP - TOP OF PAVEMENT
- CONTOURS SHOWN ARE FOR REFERENCE ONLY. BASE CONSTRUCTION EFFORTS ON PROPOSED SPOT ELEVATIONS ONLY.
- "BARRIER FREE" PARKING AND SIDEWALK RAMP SHALL CONFORM IN ALL RESPECTS TO THE MICHIGAN ADA (AMERICANS WITH DISABILITIES ACT) REQUIREMENTS.
- CONTRACTOR SHALL ADJUST ANY UTILITY ELEMENT/STRUCTURE MEANT TO BE FLUSH WITH GRADE (CLEAN OUT, VALVE BOXES, MANHOLES, CATCH BASINS, INLETS, ETC.) WHICH ARE AFFECTED BY SITE WORK OR GRADE CHANGES. WHETHER SPECIFICALLY NOTED ON PLANS OR NOT, NO ADDITIONAL COSTS FOR THIS WORK WILL BE ACCEPTED. THE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS FOR ADJUSTMENT AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR CUT AND FILL QUANTITIES. ADDITIONAL COMPENSATION WILL NOT BE ACCEPTED FOR HAULING OF EXCESS AND BORROW MATERIAL TO AND FROM SITE AS WELL AS LABOR COSTS FOR PLACEMENT AND/OR REMOVAL. OFF-SITE BORROW MATERIAL MUST BE CLEAN COMPACTIBLE STRUCTURAL FILL MATERIAL (NO ORGANIC MATERIAL) WHICH WILL BE INSPECTED PRIOR TO USE FOR ON-SITE FILL MATERIAL.
- SITE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A STABLE SUBGRADE AT DESIGN ELEVATIONS. PAVED AREAS INCLUDING DRIVEWAY PAD SHALL BE PROPELLOLLED & COMPACTED TO MEET 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH ANSI/ASTM D1557.
- CONTRACTOR SHALL STORE SUFFICIENT TOPSOIL MATERIAL ON-SITE FOR RE-USE IN ALL DISTURBED GREEN AREAS AND NEW LANDSCAPE AREAS.
- PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER. MAINTAIN A MINIMUM SLOPE OF 1.00% IN ALL NEW BITUMINOUS AREAS.

## SOIL EROSION CONTROL NOTES:

- THE DEVELOPER IS REQUIRED TO OBTAIN A NPDES STORM WATER DISCHARGE PERMIT THROUGH THE LIVINGSTON COUNTY DRAIN COMMISSIONER PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- THE DEVELOPER SHALL SUBMIT A DETAILED EROSION CONTROL PLAN AND OBTAIN ACT 451 PERMIT (INCLUDES PAYMENT OF FEES AND PROVIDING THE NECESSARY BONDS FROM THE LIVINGSTON COUNTY DRAIN COMMISSIONER PRIOR TO ANY EARTH CHANGES.
- CONSTRUCTION OPERATIONS SHALL BE SCHEDULED AND PERFORMED SO THAT PREVENTATIVE EROSION CONTROL MEASURES ARE IN PLACE PRIOR TO EXCAVATION AND TEMPORARY STABILIZATION MEASURES ARE IN PLACE IMMEDIATELY FOLLOWING BACKFILLING AND/OR GRADING OPERATIONS.
- THE CONTRACTOR SHALL USE SPECIAL PRECAUTIONS WHEN USING CONSTRUCTION EQUIPMENT TO PREVENT SITUATIONS THAT PROMOTE EROSION.
- SITE CLEANUP WILL BE ACCOMPLISHED IN A MANNER TO INSURE THAT TEMPORARY EROSION CONTROL MEASURES ARE NOT DISTURBED.
- THE PROJECT WILL CONTINUALLY BE INSPECTED FOR SOIL EROSION AND SEDIMENT CONTROL COMPLIANCE. DEFICIENCIES SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 24 HOURS OF NOTIFICATION.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE THROUGH SWALES OR OVERLAND SHEET FLOW OF THE ENTIRE SITE. SOIL SEDIMENT SHALL BE INTERCEPTED AND REMOVED PRIOR TO STORM WATER DISCHARGING FROM LIMITS OF CONSTRUCTION. NO STANDING WATER SHALL BE PERMITTED ON-SITE.
- ALL GREEN AREAS DISTURBED SHALL BE PERMANENTLY STABILIZED (TOPSOIL, SEED & MULCH) IMMEDIATELY AFTER COMPLETION OF CONSTRUCTION TO MINIMIZE SOIL EROSION AND THE POTENTIAL OF SEDIMENT LEAVING SITE.

## SESC MAINTENANCE SCHEDULE NOTES:

- A CONTRACTOR/INSPECTOR SHALL INSPECT THE SOIL EROSION AND SEDIMENT CONTROL DEVICES ONCE A WEEK AND WITHIN TWENTY-FOUR (24) HOURS OF A PRECIPITATION EVENT WHICH RESULTS IN A STORM WATER DISCHARGE FROM THE SITE. A LOG OF INSPECTION REPORTS SHALL BE MAINTAINED AND ACCESSIBLE IN ACCORDANCE WITH NPDES REQUIREMENTS. IMPLEMENT THE FOLLOWING STEPS IF ANY DAMAGE HAS RESULTED FROM CONSTRUCTION OR PRECIPITATION.
- CONSTRUCTION ACCESS ROADS (CLEAN STONE EXITS) MUST BE MAINTAINED AS NECESSARY. ADD ADDITIONAL STONE WHEN ACCESS ROAD BECOMES INEFFECTIVE DUE TO LOSS OF STONE OR WHEN COVERED WITH MUD.
- SILTATION CONTROL FENCE SHOULD BE TRENCHED IN, BACKFILLED, STAPLED AND STAKED IN ACCORDANCE WITH DETAIL SHOWN ON DOCUMENT AND PER MANUFACTURER'S RECOMMENDATIONS. MAINTENANCE INCLUDES THE REMOVAL OF BUILT-UP SEDIMENT WHEN THE SEDIMENT ACCUMULATES TO 1/3 OF THE HEIGHT OF THE FENCE. CONTRACTOR MAY HAVE TO REMOVE, REPLACE, RETRENCH, OR RE-BACKFILL THE FENCE IF IT FAILS. IF THE SILT FENCE SHALL ALSO BE REPLACED WITH NEW IF ANY PORTION OF THE FENCING WAS DAMAGED BY CONSTRUCTION MACHINERY.
- INSPECT INLET FILTERS FOR BUILD-UP OF SILT AND OTHER DEBRIS. EXCESSIVE BUILD-UP IS EVIDENT IF GEOTEXTILE/STONE FILTER SYSTEM IS CAUSING FLOODING. MAINTENANCE CONSISTS OF REMOVING ALL SEDIMENT WITH A STIFF BRISTLE BROOM OR SQUARE POINT SHOVEL. IF INLET FILTER IS BEYOND THIS LEVEL OF REPAIR, IT MAY BE NECESSARY TO REPLACE BOTH THE STONE AND GEOTEXTILE FILTER FABRIC.
- PREPARE EROSION CONTROL SEEDING ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. THE CONTRACTOR/INSPECTOR SHALL INSPECT THE AREA AFTER SEEDING IS COMPLETED. REPAIR AREAS THAT ARE BARE OR NOT MULCHED PROPERLY BY SPOT SEEDING AND/OR RE-MULCHING.
- MAINTAIN DUST CONTROL AT ALL TIMES DURING CONSTRUCTION. SPRINKLING TANK TRUCKS SHALL BE AVAILABLE AT ALL TIMES AND USED ON HAUL ROADS, ON-SITE DISTURBED AREAS, OR OTHER PLACES WHERE DUST BECOMES A PROBLEM AS A RESULT OF CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL PROMPTLY REMOVE ALL MUD, DIRT AND DEBRIS TRACKED ONTO EXISTING ROADS FROM TRUCK TRAFFIC LEAVING THIS SITE.
- REMOVE SILT DEPOSITS FROM TEMPORARY SEDIMENT TRAPS WHEN TRAP IS HALF FULL. CHECKDAMS (IF APPLICABLE) SHALL BE INSPECTED AFTER EVERY PRECIPITATION EVENT AND CLEANED IF STANDING WATER BEHIND DAMS IS EVIDENT.



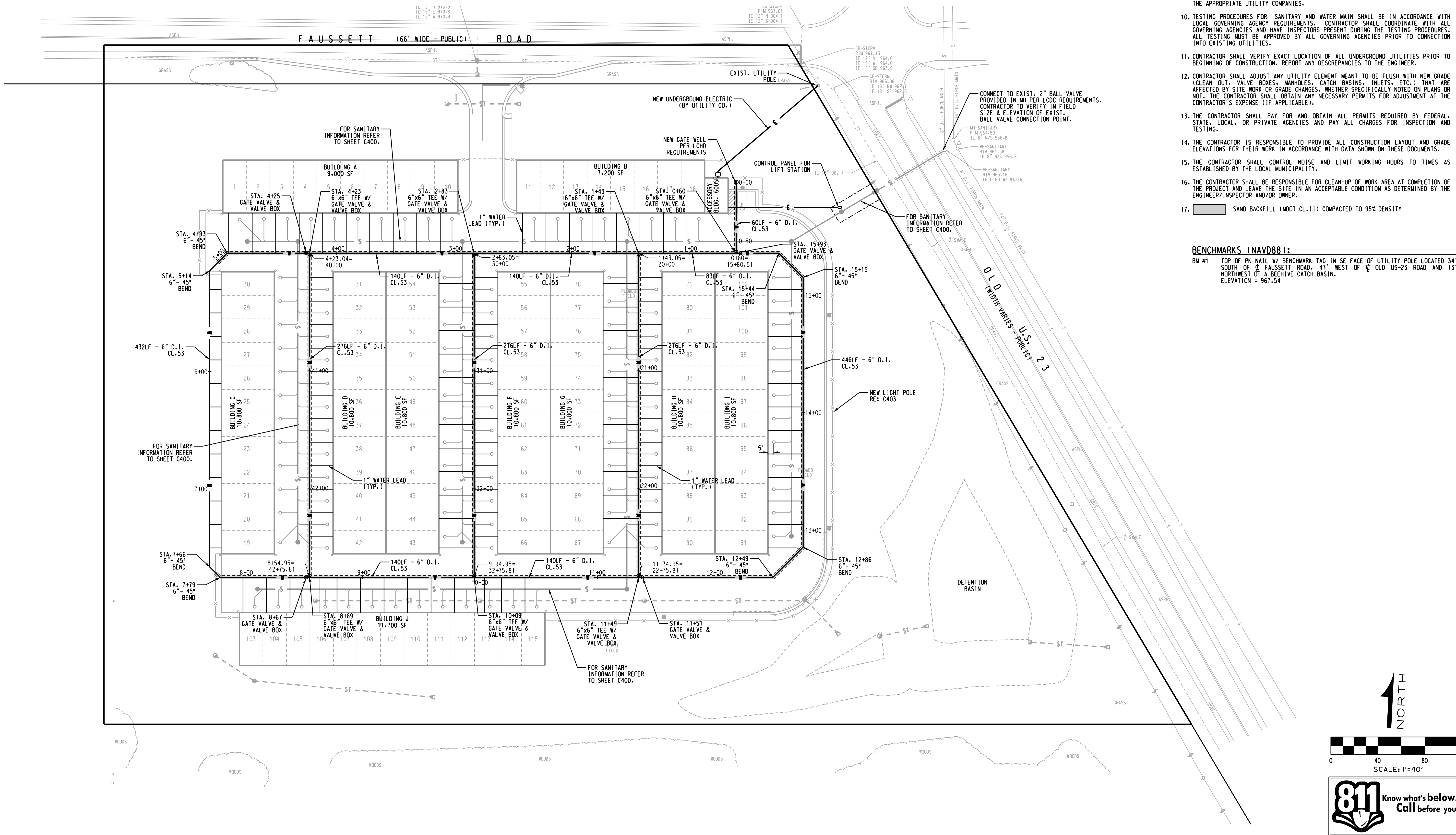










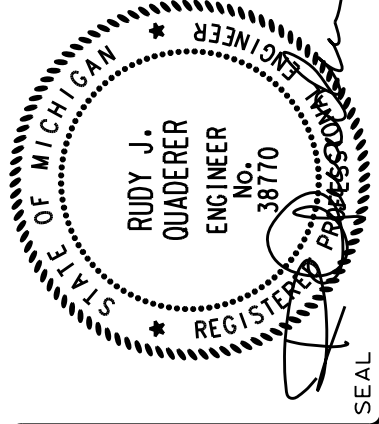


GENERAL UTILITY NOTES:

1. ALL WORKMANSHIP AND MATERIALS FOR WATER MAIN, SANITARY, AND STORM SEWER SHALL CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF ALL LOCAL GOVERNING AGENCIES HAVING JURISDICTION. IN CASE OF DISCREPANCIES, THE CONTRACTOR SHALL COORDINATE WITH THE AGENCIES TO RESOLVE THESE ISSUES.
2. CONTRACTOR SHALL CONTACT "MISS DIG" (811) FOR LOCATION OF EXISTING UTILITIES WITHIN THE WORK AREA THREE (3) WORKING DAYS PRIOR TO START OF CONSTRUCTION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND STABILIZING (IF REQUIRED) ALL TRENCH EXCAVATIONS TO ACCOMPLISH WORK INDICATED ON PLANS AND TO ACHIEVE REQUIRED COMPACTION OPERATIONS AS INDICATED IN THE PROJECT SPECIFICATIONS OR ON THESE DOCUMENTS. DEWATERING, IF DETERMINED NECESSARY BY THE CONTRACTOR, WILL BE CONSIDERED INCIDENTAL TO THE INSTALLATION COST OF UTILITIES OR STRUCTURES.
4. UTILITY SERVICE LEADS SHALL END 5 FEET FROM THE BUILDING UNLESS NOTED OTHERWISE. COORDINATE WITH BUILDING CONTRACTOR (IF NECESSARY).
5. PROTECT AND MAINTAIN 18 INCH CLEARANCE AT ALL UTILITY CROSSINGS.
6. REFER TO TRENCH DETAIL(S) SHOWN ON THESE DOCUMENTS FOR BEDDING AND BACKFILL MATERIAL REQUIREMENTS.
7. TRENCH EXCAVATIONS SHALL BE COMPACTED IN CONTINUOUS LAYERS NOT EXCEEDING 8 INCH LOOSE LIFTS, COMPACTED TO 95 PERCENT OF MAXIMUM DENSITY IN ACCORDANCE WITH ANSI/ASTM D 1557 MODIFIED PROCTOR.
8. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
9. CONTRACTOR SHALL COORDINATE INSTALLATION OF GAS, ELECTRIC, AND TELEPHONE WITH THE APPROPRIATE UTILITY COMPANIES.
10. TESTING PROCEDURES FOR SANITARY AND WATER MAIN SHALL BE IN ACCORDANCE WITH LOCAL GOVERNING AGENCY REQUIREMENTS. CONTRACTOR SHALL COORDINATE WITH ALL GOVERNING AGENCIES AND HAVE INSPECTORS PRESENT DURING THE TESTING PROCEDURES. ALL TESTING MUST BE APPROVED BY ALL GOVERNING AGENCIES PRIOR TO CONNECTION INTO EXISTING UTILITIES.
11. CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER.
12. CONTRACTOR SHALL ADJUST ANY UTILITY ELEMENT MEANT TO BE FLUSH WITH NEW GRADE (CLEAN OUT, VALVE BOXES, MANHOLES, CATCH BASINS, INLETS, ETC.) THAT ARE AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT. THE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS FOR ADJUSTMENT AT THE CONTRACTOR'S EXPENSE (IF APPLICABLE).
13. THE CONTRACTOR SHALL PAY FOR AND OBTAIN ALL PERMITS REQUIRED BY FEDERAL, STATE, LOCAL, OR PRIVATE AGENCIES AND PAY ALL CHARGES FOR INSPECTION AND TESTING.
14. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL CONSTRUCTION LAYOUT AND GRADE ELEVATIONS FOR THEIR WORK IN ACCORDANCE WITH DATA SHOWN ON THESE DOCUMENTS.
15. THE CONTRACTOR SHALL CONTROL NOISE AND LIMIT WORKING HOURS TO TIMES AS ESTABLISHED BY THE LOCAL MUNICIPALITY.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN-UP OF WORK AREA AT COMPLETION OF THE PROJECT AND LEAVE THE SITE IN AN ACCEPTABLE CONDITION AS DETERMINED BY THE ENGINEER/INSPECTOR AND/OR OWNER.
17. SAND BACKFILL (MOOT CL.11) COMPACTED TO 95% DENSITY

BENCHMARKS (NAVD88):

BM #1 TOP OF PK NAIL W/ BENCHMARK TAG IN SE FACE OF UTILITY POLE LOCATED 34' SOUTH OF C FAUSSETT ROAD, 47' WEST OF C OLD US-23 ROAD AND 13' NORTHWEST OF A BEEHIVE CATCH BASIN. ELEVATION = 967.54

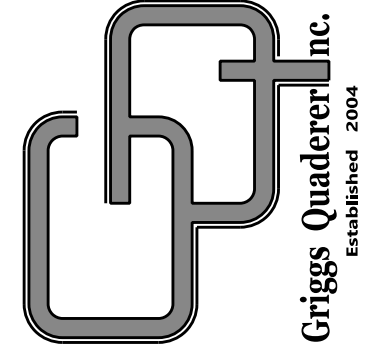


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	REVISION OR ISSUE	

DRAWN	BRZEZINSKI
DESIGNED	
CHECKED	
FIELD CREW	

US23 STORAGE DEVELOPMENT  
NEW SELF STORAGE CONDOMINIUMS  
TYRONE TWP., LIVINGSTON COUNTY, STATE OF MICHIGAN  
SITE UTILITY PLAN (WATER MAIN)

Griggs Quaderer, Inc.  
8308 OFFICE PARK DRIVE  
GRAND BLANC, MI 48409  
PH: (810) 695-0154  
FX: (810) 695-0158  
CIVIL ENGINEERING - LAND SURVEYING  
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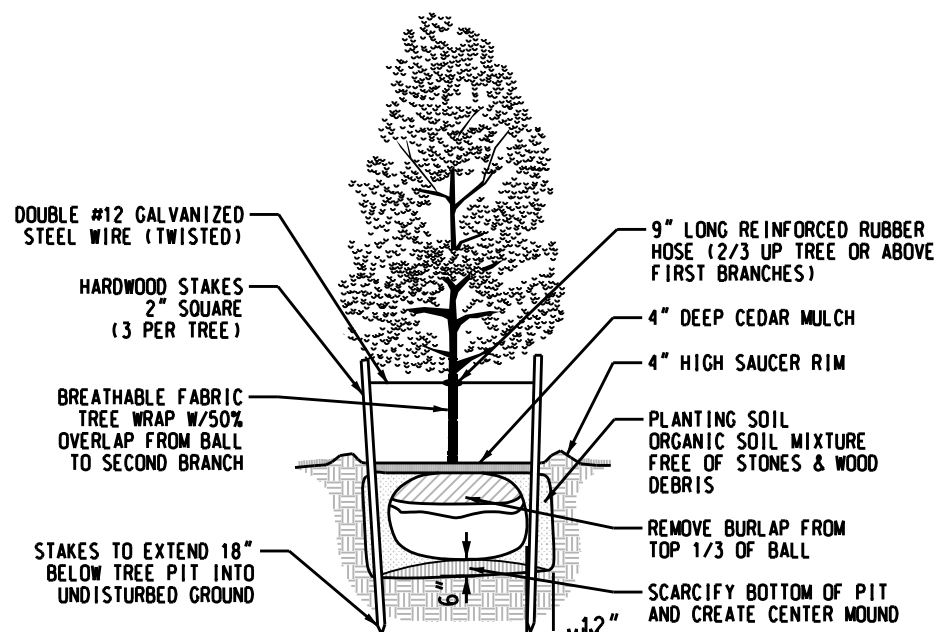


PHASE: CONCP  
JOB NO.: 180301  
C401



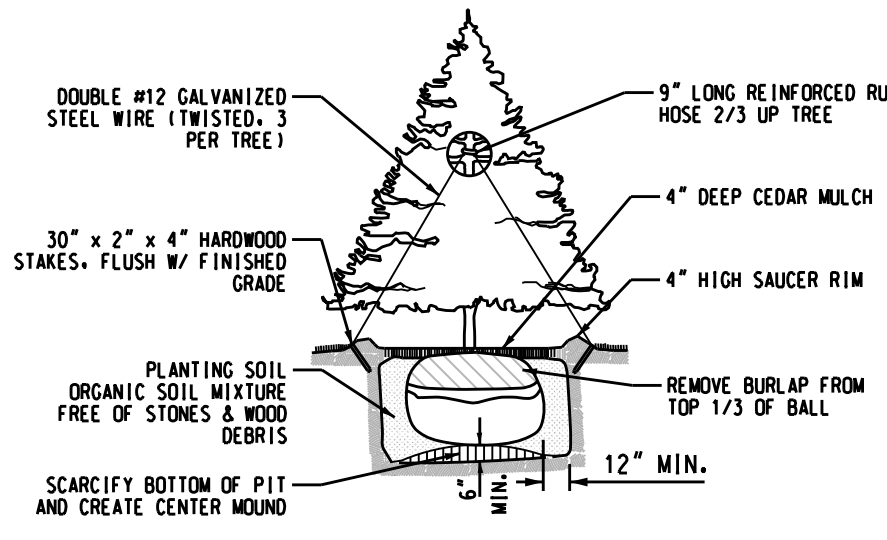






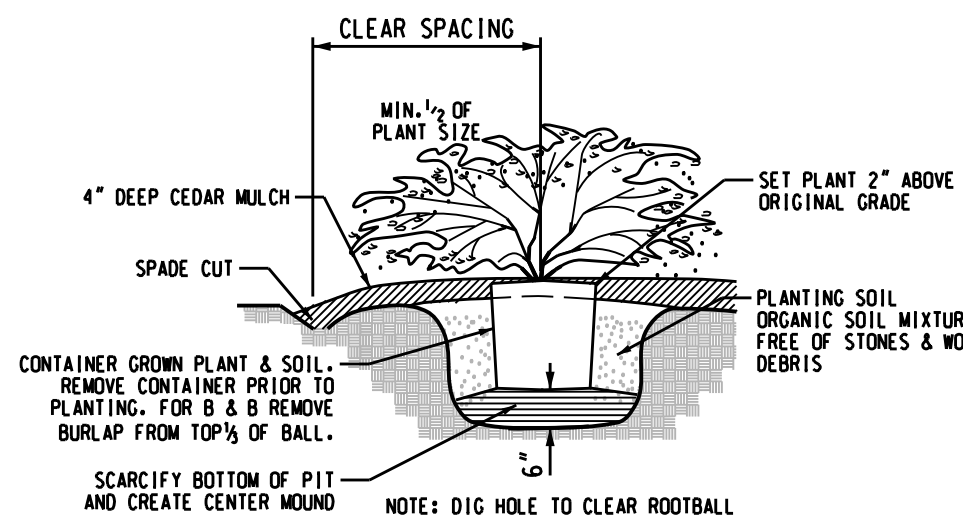
NOTE: TREE SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS GRADE. RAISE ROOT BALL 1/3 HIGHER IN CLAY SOILS - BACKFILL & COVER ENTIRE BALL W/ TOPSOIL & MULCH.

TREE PLANTING DETAIL  
NO SCALE



NOTE: TREE SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS GRADE. RAISE ROOT BALL 1/3 HIGHER IN CLAY SOILS - BACKFILL & COVER ENTIRE BALL W/ TOPSOIL & MULCH.

EVERGREEN TREE DETAIL  
NO SCALE



SHRUB PLANTING DETAIL  
NO SCALE

PLANTING REQUIREMENTS		
LOCATION	MINIMUM REQUIREMENT	PROVIDED
MIXTURE OF TREES (SECT. 21A.04, A.2)	1 TREE PER 3,000 SF OF UNPAVED AREA = 222,136 SF/3,000 = 74 TREES REQ'D.	76 TREES PROVIDED
PARKING LOT LANDSCAPING (SECT. 21A.04, D.1)	LANDSCAPE RATIO SHALL BE 155 SF PER PARKING SPACE = 25(15) = 375SF	460SF PROVIDED (REFER TO THIS SHEET)

LEGEND:

- AREA TO BE MULCHED
- PLANT DESIGNATION & QUANTITY OF SPECIE
- REMOVE TREE

SEED MIXTURE #1 LAWN AREA			
COMMON NAME	PROPT BY WGT.	PERCENT OF PURITY	PERCENT GERMINATION
KENTUCKY BLUE GRASS	20%	97%	80%
RED FESCUE	60%	97%	80%
PERENNIAL RYE GRASS	20%	97%	80%
TOTAL SEEDING RATE:	100% 8 LBS./1000 SQ. FT.		

SEED MIXTURE #2 GRASS AREAS	
COMMON NAME	CATEGORY
WILDFLOWER & GRASS MIX (BY ERNST SEEDS OR APPROVED EQUAL)	UPLAND & MEADOWS
TOTAL SEEDING RATE:	100% 20 LBS./ACRE

LANDSCAPING NOTES:

- INSTALLATION OF PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS LATEST EDITION.
- PRIOR TO BEGIN OF LANDSCAPE WORK, CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES. CONTRACTOR SHALL CONTACT MISS DIG (811) FOR LOCATIONS OF ALL PRIVATE UTILITIES. ANY DAMAGE OR INTERRUPTIONS OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. COORDINATE ALL RELATED WORK ACTIVITIES WITH OTHER TRADES AND REPORT ANY UNACCEPTABLE WORK CONDITIONS TO OWNER PRIOR TO COMMENCING WORK.
- NUMERICAL VALUE OF PLANT MATERIAL SHOWN SHALL TAKE PRECEDENCE OVER GRAPHIC REPRESENTATION. VERIFY AND REPORT ANY DISCREPANCIES WITH LANDSCAPE ARCHITECT.
- SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED BY THE MUNICIPALITY AND/OR GOVERNING AGENCY PRIOR TO COMMENCING.
- NEW LANDSCAPE BEDS SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND POOR SOILS TO A MINIMUM DEPTH OF 24" AND BACKFILLED WITH GOOD MEDIUM TEXTURED ORGANIC PLANTING SOIL FREE OF ROCKS LARGER THAN 1".
- PROTECT EXISTING TREES TO REMAIN WITH TEMPORARY FENCING PLACED AT THE DRIP LINE. NO GROUND DISTURBANCE OR STORAGE OF MATERIAL SHALL OCCUR WITHIN THE DRIP LINE LIMITS.
- COORDINATE PLACEMENT OF PLANTS WITH UNDERGROUND UTILITY LOCATIONS. MAKE ADJUSTMENTS AS REQUIRED TO AVOID PLANTING OVER THE UTILITIES. DO NOT PLANT SHADE OR EVERGREEN TREES BELOW OVERHEAD WIRES. IF CONFLICT OCCURS, CONTACT LANDSCAPE ARCHITECT TO ADJUST LOCATION OF TREES.
- BACKFILL ISLANDS FROM SUBGRADE TO THE TOP OF CURB WITH ON-SITE TOPSOIL UNLESS OTHERWISE NOTED ON PLAN. FINISHED GRADE IN CENTER OF ISLAND SHALL BE 4" TO 6" HIGHER THAN TOP OF CURB TO PROVIDE POSITIVE DRAINAGE TO PERIMETER OF CURB ISLAND.
- PLACE 4" THICK BY 4" DIAMETER SHREDDED CEDAR OR CYPRESS BARK MULCH RING AT THE BASE OF ALL NEW TREES IN LAWN AREA. CUT LAWN AREA IN A SMOOTH UNIFORM CIRCULAR LINE.
- EXISTING ON-SITE TREES TO REMAIN SHALL BE PROPERLY PRUNED, TRIMMED, THINNED AND SHAPED BY A QUALIFIED NURSERYMAN OF ARBORIST. ALL DEAD LIMBS AND BRANCHES SHALL BE REMOVED FROM SITE.
- UNLESS NOTED OTHERWISE, LANDSCAPE BEDS ADJACENT TO LAWN AREAS SHALL RECEIVE LANDSCAPE EDGING AS DETAILED ON PLAN.
- ALL LANDSCAPING SHALL BE COMPLETED WITHIN 6 MONTHS OF COMPLETION OF BUILDING.
- ALL STAKING MATERIALS AND WRAPPING SHALL BE REMOVED OFF SITE WITHIN ONE YEAR AFTER INSTALLATION.
- LANDSCAPING ITEMS SHALL NOT INTERFERE WITH THE CLEAR VISION AREAS. TREES WITHIN PARKING LOT ISLANDS SHALL HAVE A CLEAR VIEW OF 4'-6" MINIMUM TO THE FIRST BRANCH AT MATURITY.
- ALL PLANT MATERIALS INCLUDING LAWN AREAS SHALL BE WATERED, FERTILIZED, TRIMMED, MOWED AND GENERALLY MAINTAINED BY THE CONTRACTOR IN A HEALTHY GROWING CONDITION FOR A PERIOD OF 30 DAYS AFTER FINAL COMPLETION AND AFTER LAWN IS CUT FOR FIRST TIME. CONTRACTOR SHALL SUBMIT A ONE (1) YEAR WARRANTY FROM COMPLETION DATE AND BE RESPONSIBLE TO REPLACE ANY DISEASED OR DEAD PLANT MATERIAL WITHIN THAT PERIOD OF TIME WITHOUT ANY COST TO THE OWNER.

TREE SCHEDULE

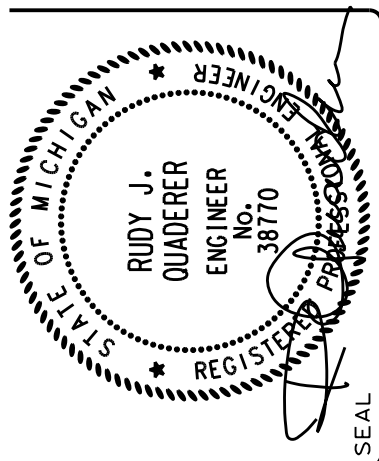
KEY	BOTANICAL NAME	COMMON NAME	#/SIZE	QUANTITY
AJ	ACER X FREEMANII 'JEFFERSRED'	AUTUMN BLAZE MAPLE	2.5" CAL	5
AS	ACER SACCHARUM 'COMMEMORATION'	COMMEMORATION SUGAR MAPLE	2.5" CAL	5
BC	BETULA NIGRA 'CULLY'	HERITAGE RIVER BIRCH	6' HT	4
CA	CARPINUS CAROLINIANA	AMERICAN HORNBEEAM	2.5" CAL	3
CF	ABIES CONCOLOR	CONCOLOR FIR	6' HT	19
GT	GLEDITSIA TRIACANTHOS INERMIS	HONEYLOCUST	2.5" CAL	6
MS	MALUS 'SUGAR Tyme'	SUGAR Tyme CRABAPPLE	2" CAL	12
PA	PYRUS CALLARYANA 'ARISTOCRAT'	ARISTOCRAT PEAR	2.5" CAL	5
PG	PICEA GLAUCA	WHITE SPRUCE	6'-8" HT	22
PP	PICEA PUNGENS	COLORADO SPRUCE	6'-8" HT	17
OR	QUERCUS ELLIPSOIDALIS	NORTHERN PIN OAK	2.5" CAL	5
TC	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	2.5" CAL	4

SHRUB SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
AC	AMELANCHIER LAEVIS 'CUMULUS'	CUMULUS SERVICEBERRY	4' HT	35
BA	BERBERIS ATROPURPUREA 'CRIRUZAM'	CRIMSON RUBY BARBERRY	18" HT	4
EA	EUONYMUS ALATAS 'COMPACTUS'	COMPACT BURNING BUSH	24" HT	35
PB	POTENTILLA FRUTICOSA 'GOLDFINGER'	GOLDFINGER POTENTILLA	NO. 3 CONT	2
SF	SPIREA JAPONICA 'GOLDMOUND'	GOLD MOUND SPIREA	NO. 3 CONT	42
SL	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	NO. 3 CONT	21
TT	THUJA OCCIDENTALIS 'MISSION'	TECHNY ARBOVITAE	5' HT	21
VC	VIBURNUM X BURKWOODII	BURKWOOD VIBURNUM	NO. 5 CONT	21
WM	WEIGELA FLORIDA 'MINUET'	MINUET WEIGELA	NO. 3 CONT	42

PERENNIALS/GRASSES/ANNUALS SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
HD	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	NO. 2 CONT	10
HR	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	NO. 2 CONT	10



NO.	DATE	SUBJECT
02-09-22	01-17-22	ISSUED TO TYRONE TWP FOR SPA OWNER REVIEW

DRAWN	DESIGNED	CHECKED	FIELD CREW
BRZEZINSKI			

US23 STORAGE DEVELOPMENT  
NEW SELF STORAGE CONDOMINIUMS

TYRONE TWP, LIVINGSTON COUNTY, STATE OF MICHIGAN

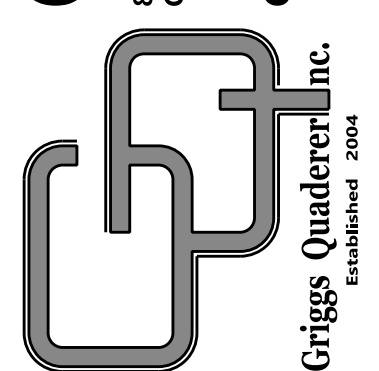
SITE LANDSCAPE PLAN

Griggs Quaderer, Inc.

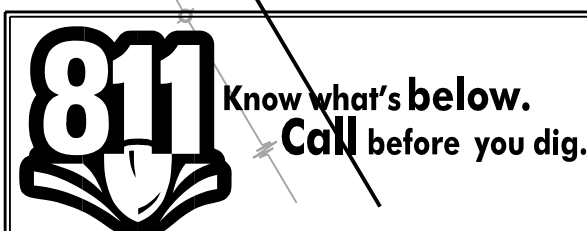
8308 OFFICE PARK DRIVE  
GRAND BLANC, MI 48499

WWW.GQINCORP.COM  
PH: (810) 695-0154  
FX: (810) 695-0158

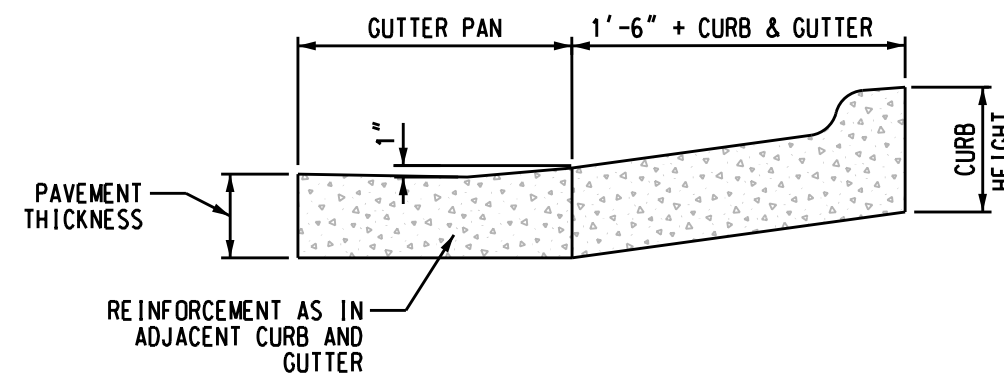
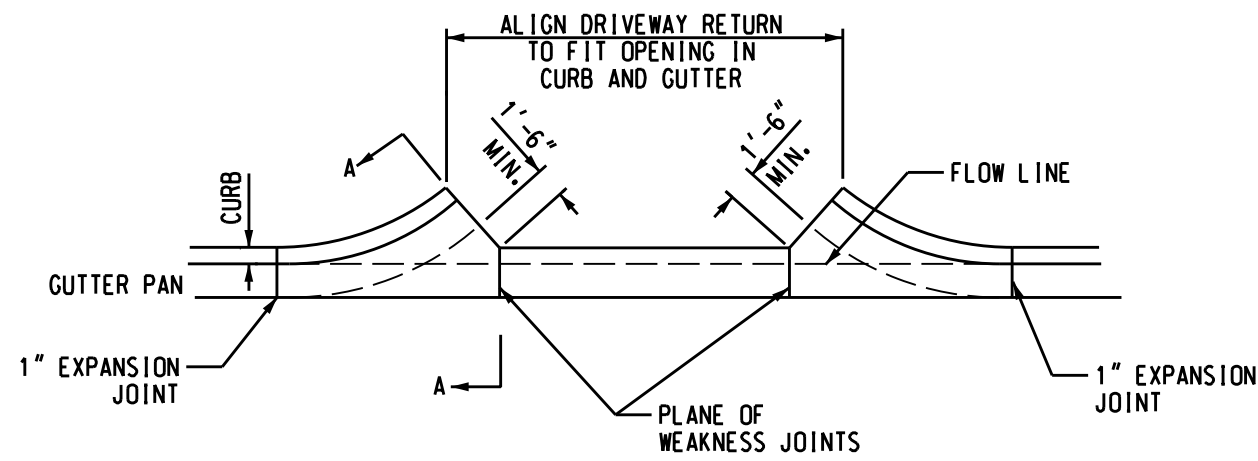
CIVIL ENGINEERING - LAND SURVEYING  
SITE PLANNING



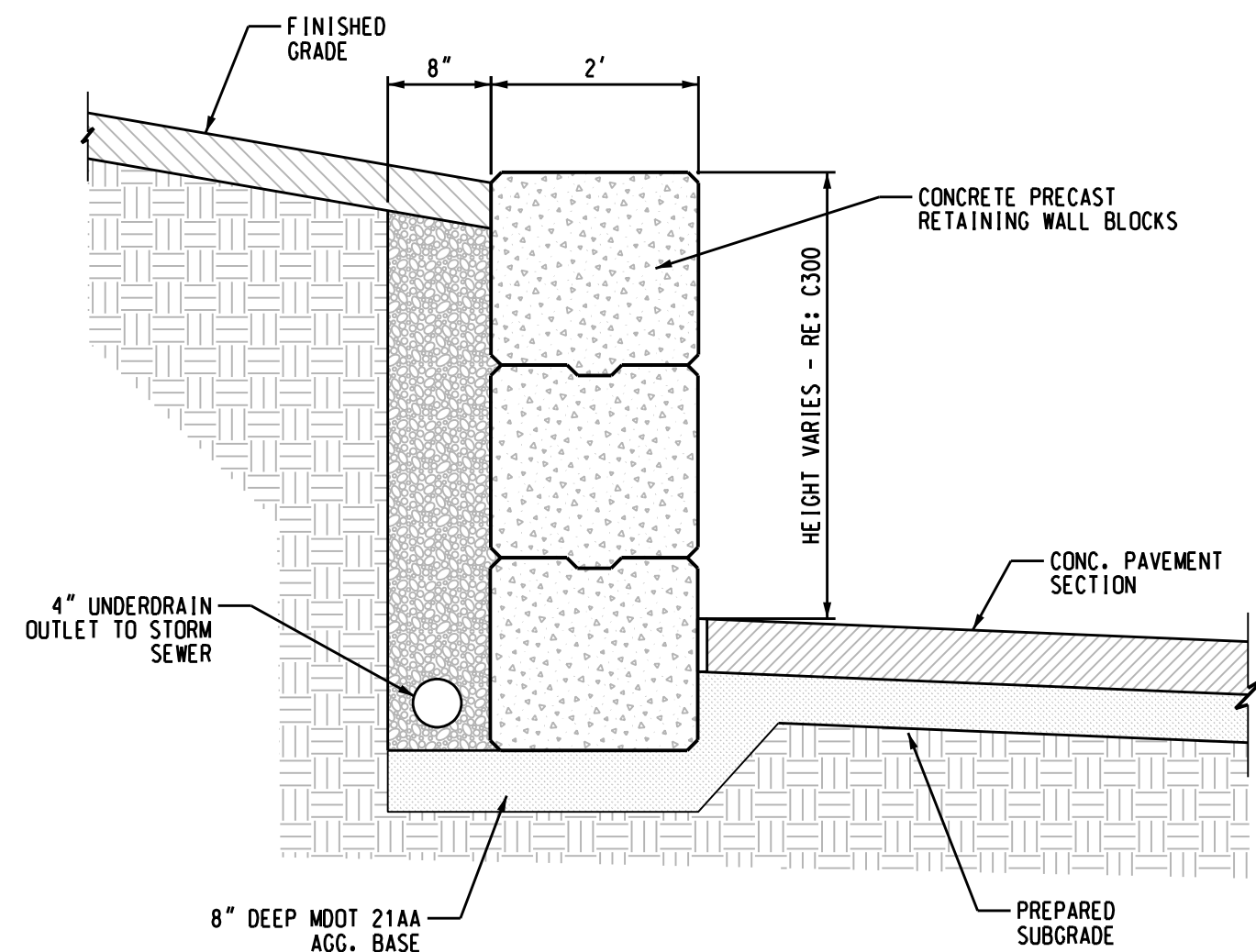
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JOB NO.:	180301	
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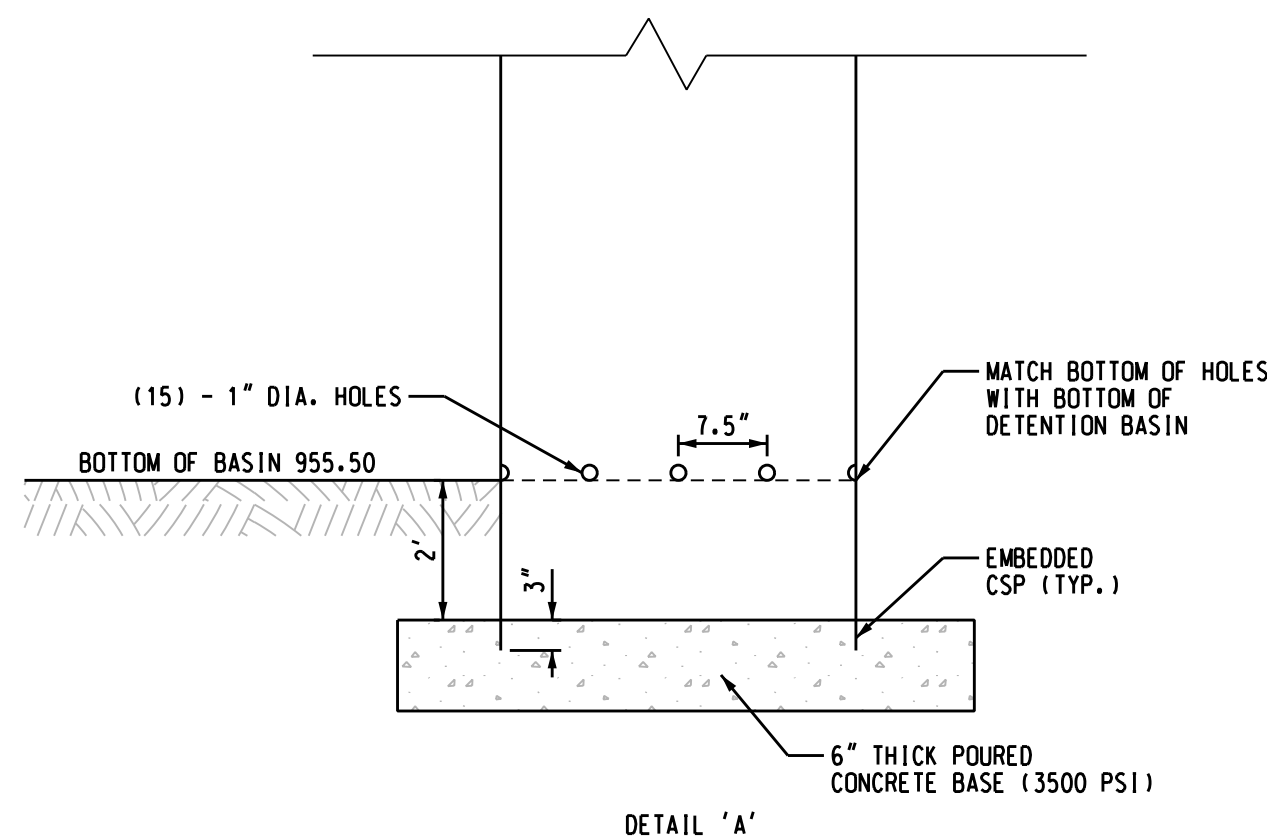




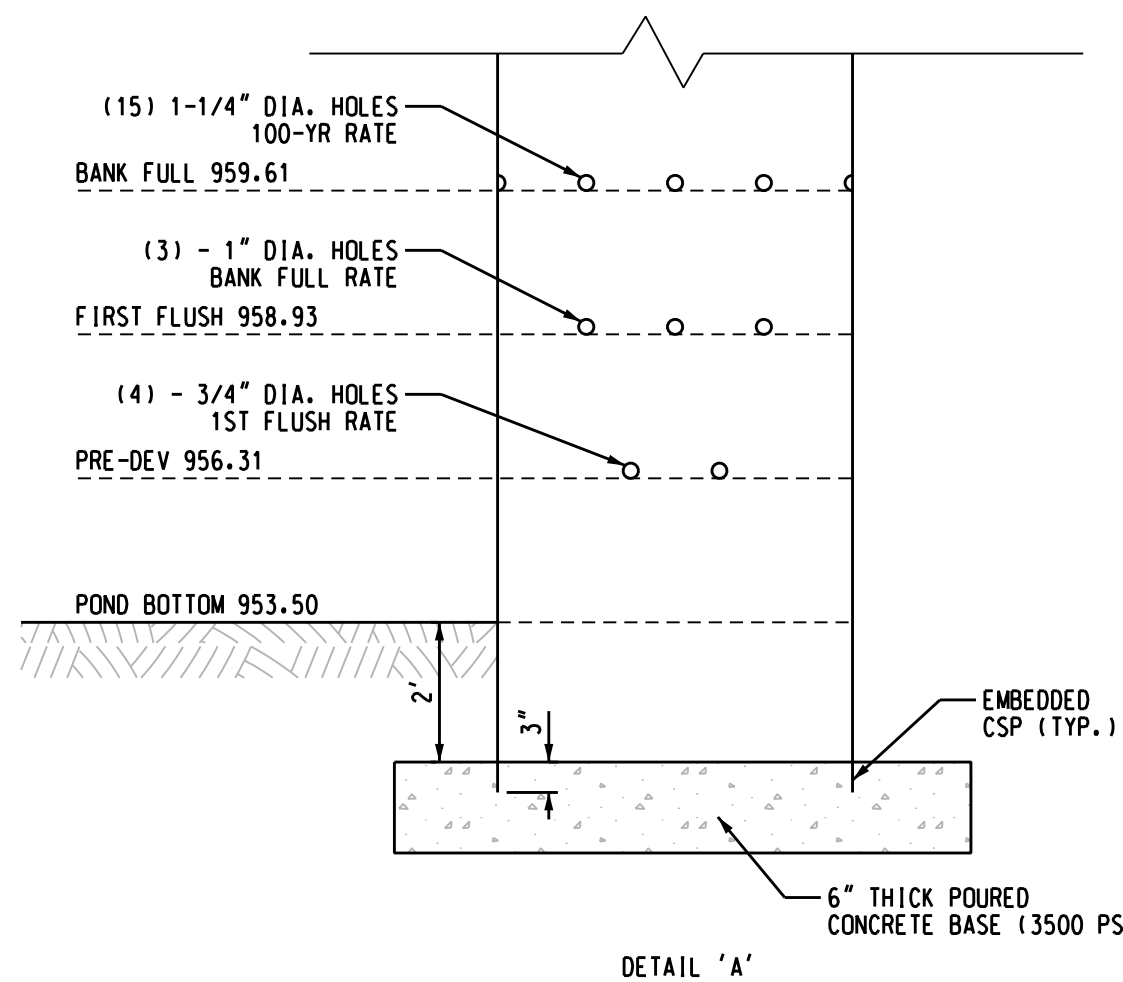
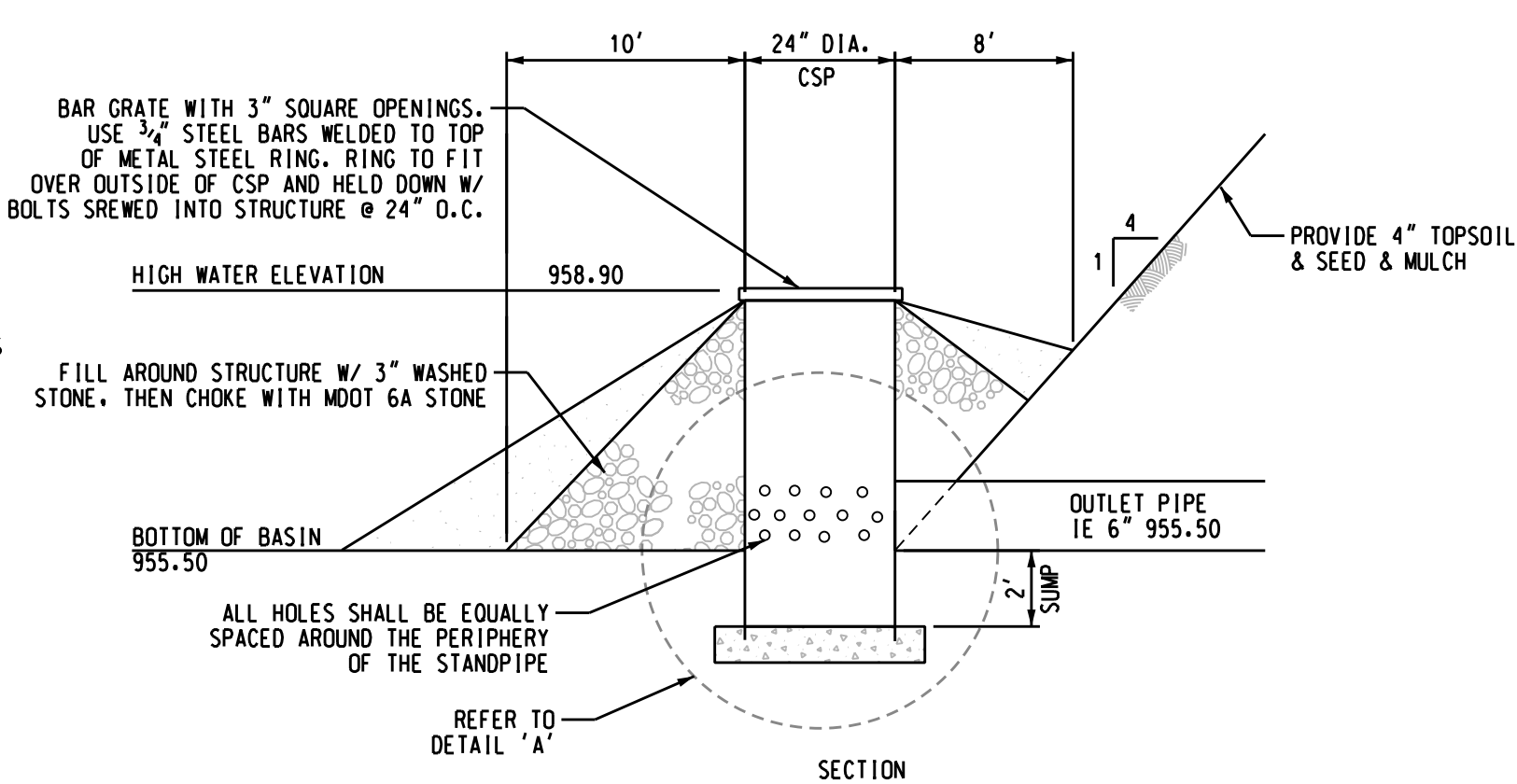
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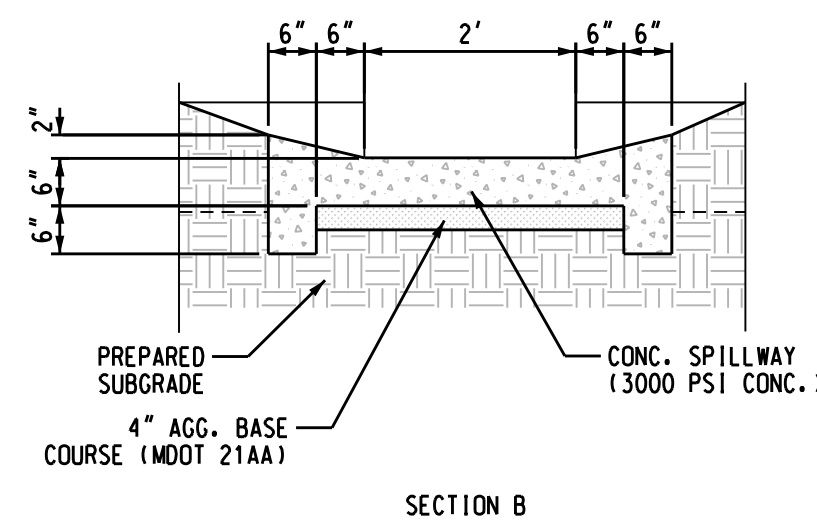
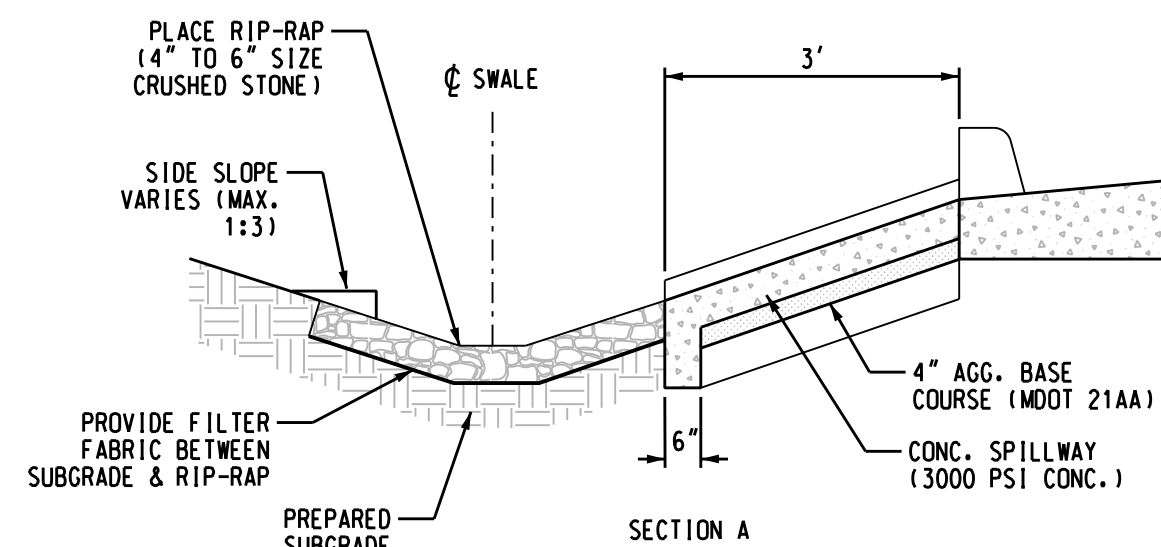
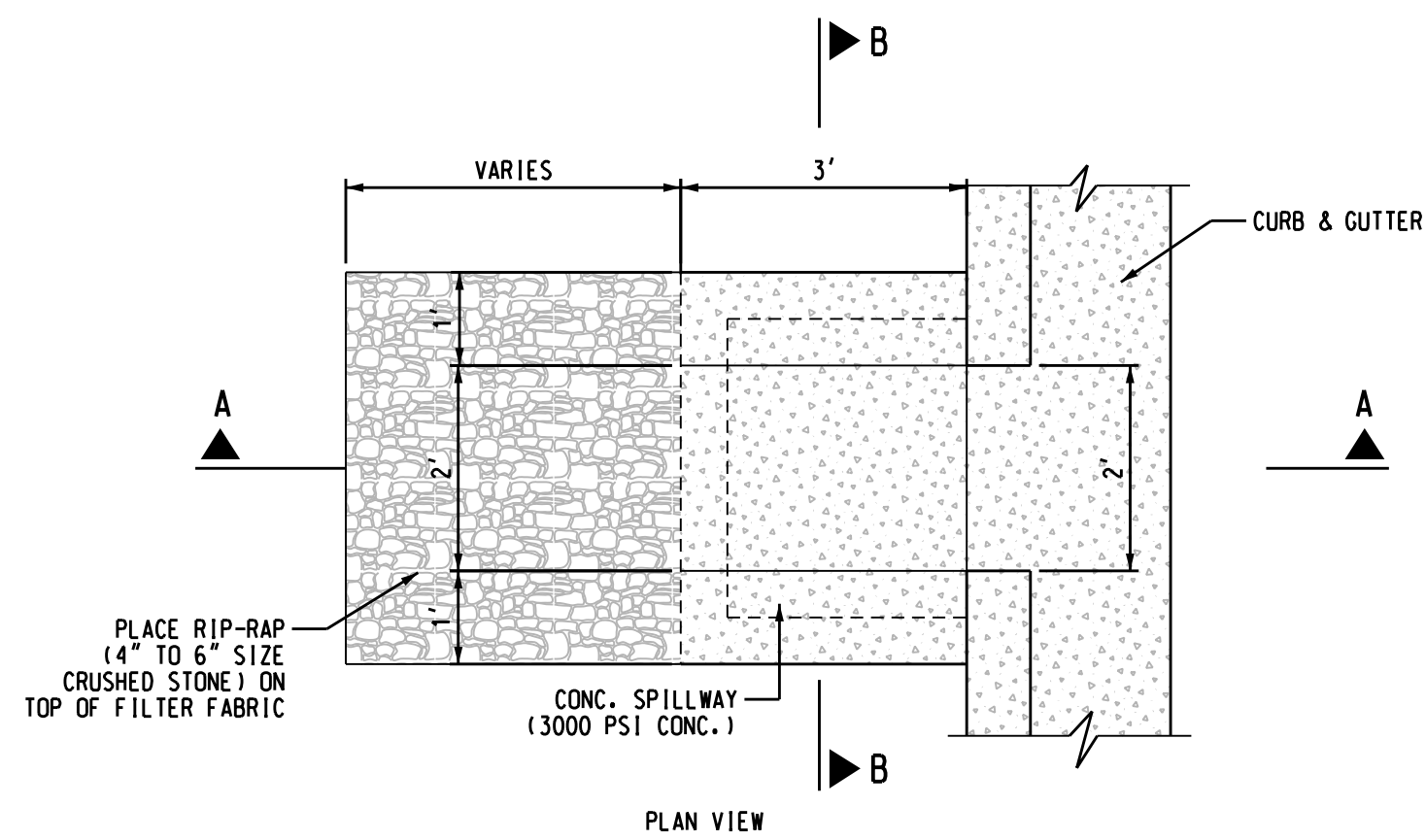
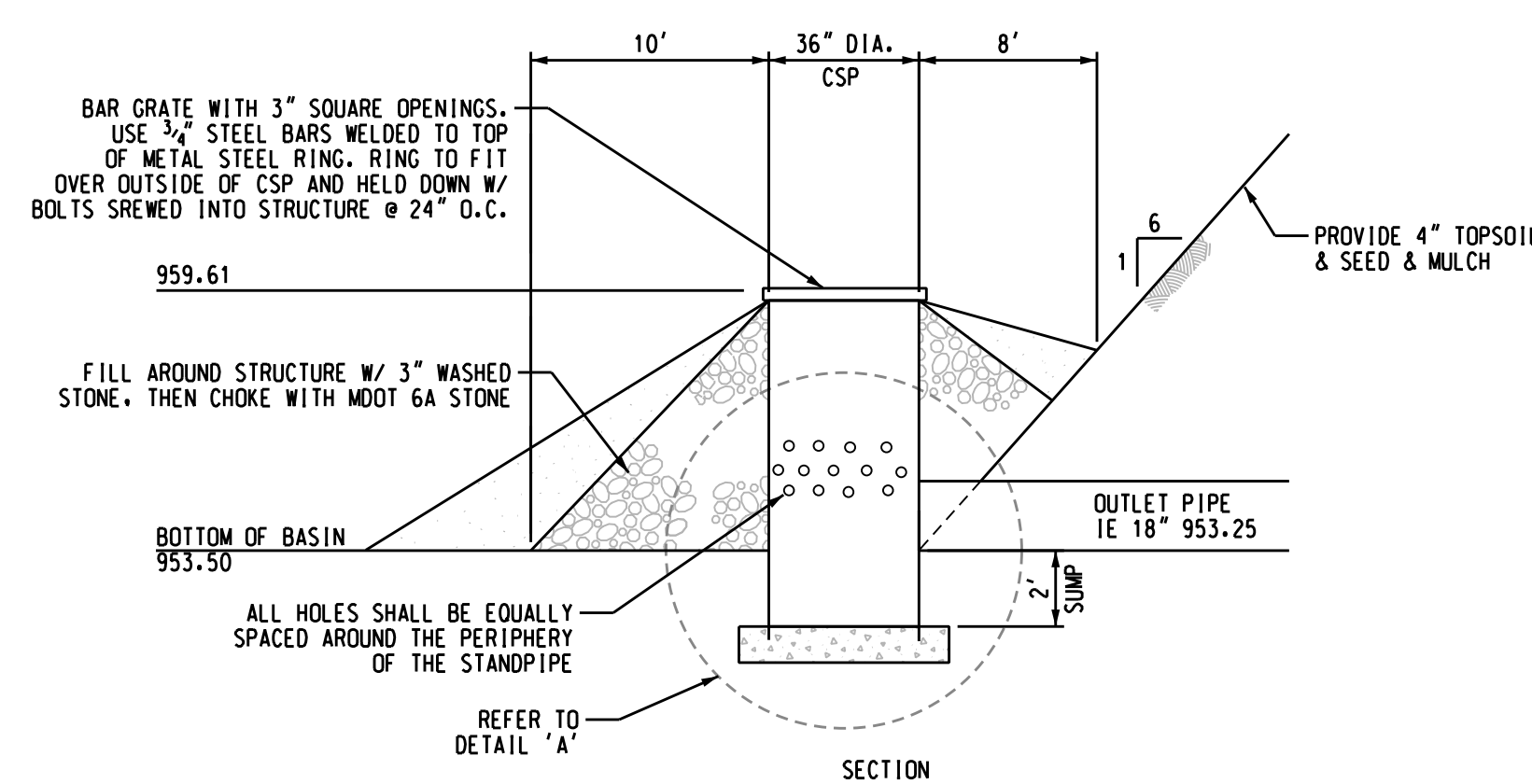
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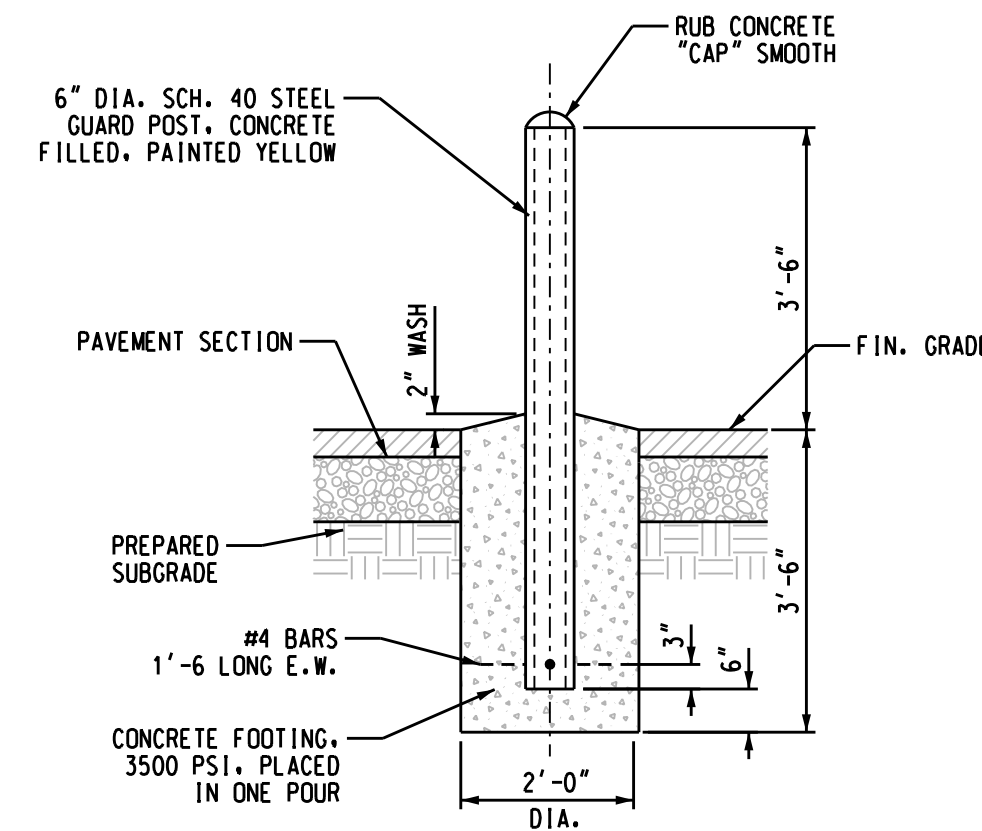
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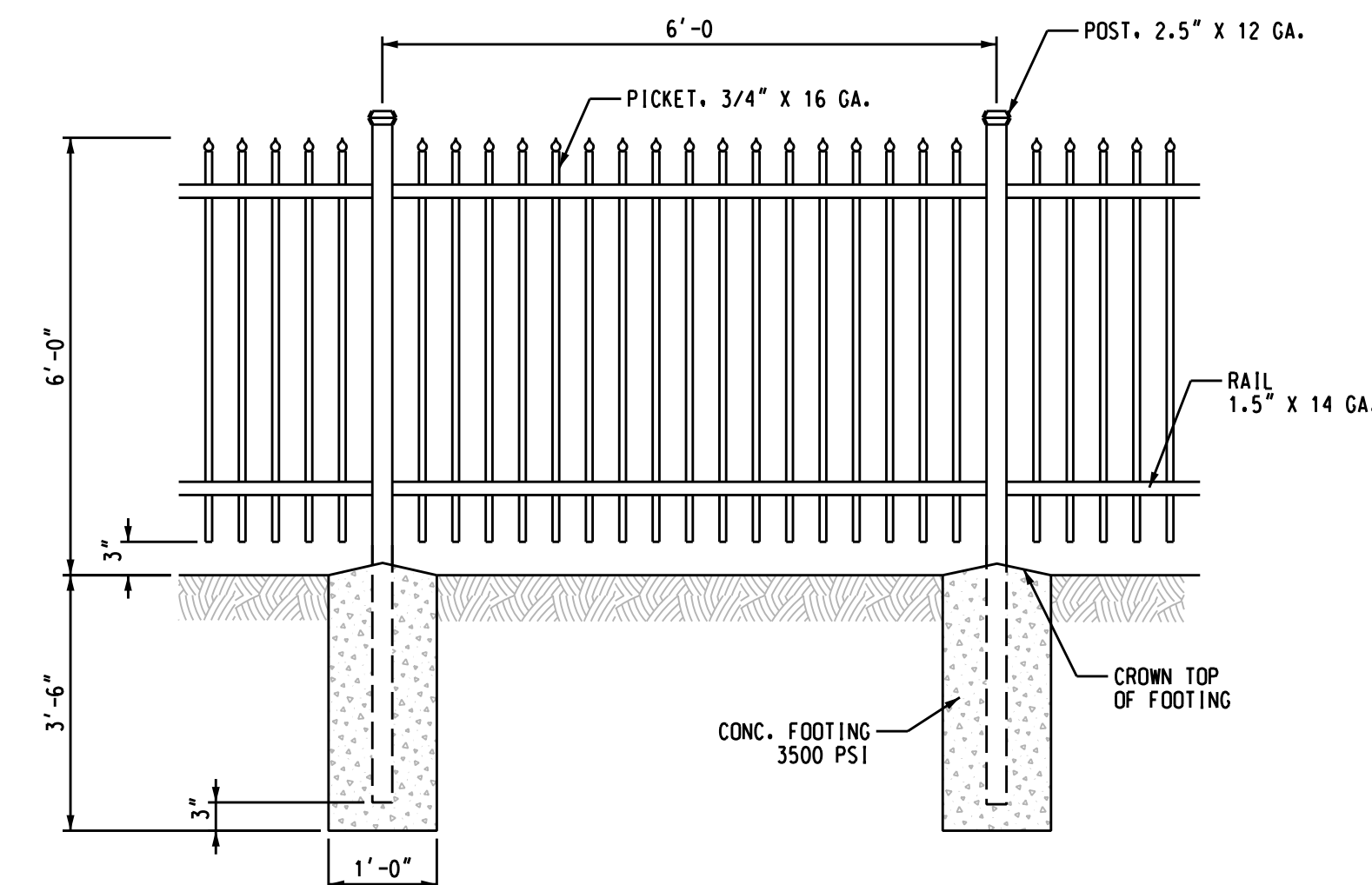
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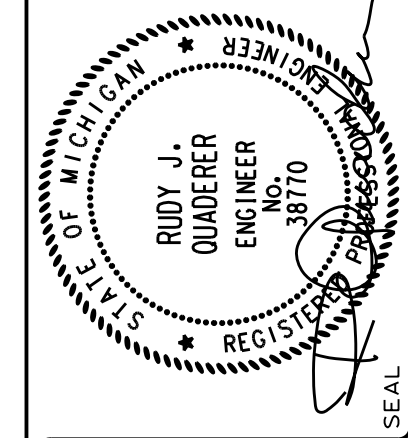
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GUARD POST DETAIL  
NO SCALE



ORNAMENTAL ALUMINUM PERIMETER FENCE  
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NO.	DATE	SUBJECT
02-09-22	01-17-22	ISSUED TO TYRONE TWP FOR SPA OWNER REVIEW
01-17-22		OWNER REVIEW
		REVISION OR ISSUE

DRAWN	BRZEZINSKI
DESIGNED	
CHECKED	
FIELD CREW	

**US23 STORAGE DEVELOPMENT**  
**NEW SELF STORAGE CONDOMINIUMS**  
FAUSSET RD @ OLD U.S. 23  
TYRONE TWP., LIVINGSTON COUNTY, STATE OF MICHIGAN

**Griggs Quaderer, Inc.**  
8308 OFFICE PARK DRIVE  
GRAND BLANC, MI 48499  
PH: (810) 695-0154  
FX: (810) 695-0158  
WWW.GQINCORP.COM

**CIVIL ENGINEERING - LAND SURVEYING**  
**SITE PLANNING**

**Griggs Quaderer, Inc.**  
Established 2004

DATE: 2/9/2022 TIME: 1:21:34 PM

PHASE: CONCP

JOB NO.: 180301

C600

FILE LOCATION: C:\Users\quaderer\OneDrive\Griggs Quaderer, Inc\Projects\180301 US23 Storage Development\180301 US23 Storage Development.dgn



# **OLD BUSINESS #2**

Sight Lines



## ARTICLE 5

### RESIDENTIAL DISTRICTS

#### §5.05 - INTENT & PURPOSE

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The intent and purpose of this Article is to:

- (A) Establish the intent and purposes of the Rural Residential (RR), Lake Residential (LR), Mobile Home Residential (MHR), and Common Use (CU) Districts;
- (B) Preserve the Township's rural character and protect visual corridors along public streets;
- (C) Ensure adequate space on properties for uses, structures, and other improvements;
- (D) Encourage appropriate use of the Township's residential areas;
- (E) Ensure compatibility and reduce conflicts between residential uses and developments and surrounding properties, uses, and the community; and
- (F) Establish use and developmental standards for the Rural Residential (RR), Lake Residential (LR), Mobile Home Residential (MHR), and Common Use (CU) Districts.

#### §5.10 - DISTRICT INTENT & PURPOSE

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(A) **Rural Residential (RR) District:** The intent and purpose of the Rural Residential (RR) District is to:

- (1) *Residential Use:* Provide opportunities for low-density residential use in a manner that is consistent with the character of these areas;
- (2) *Agriculture:* Provide opportunities for the continuation of limited agricultural operations;
- (3) *Recreation:* Provide opportunities for the preservation, creation, and enhancement of passive and active recreational uses that are compatible with the natural character of the land and surrounding uses;
- (4) *Preservation:* Encourage the preservation of undeveloped natural areas, such as woodlands, wetlands, and water courses; and
- (5) *Development Character:* Foster development patterns that are designed to maintain, enhance, and preserve open spaces, including farmlands, woodlands, and wetlands, that contribute to the rural character of the Township.

(B) **Lake Residential (LR) Districts:** The intent and purpose of the Lake Residential (LR) Districts is to:

- (1) *Residential Use:* Provide opportunities for relatively high-density residential uses in a manner that is consistent with the unique physical, economic, and social characteristics of these areas;
- (2) *Recreation:* Provide opportunities for the recreational uses that are consistent with the character of these lake areas;
- (3) *Environment:* Protect the Township's waters and other natural resources in order to foster a healthy environment that enhances the use and enjoyment of these areas; and
- (4) *Development Character:* Foster infill development that is consistent with the character of the established neighborhoods.



**(C) Mobile Home Residential (MHR) District:** The intent and purpose of the Mobile Home Residential (MHR) District is to:

- (1) *Residential:* Provide opportunities for alternative housing in mobile home parks in areas where demand has been demonstrated and where appropriate public services are present.

**(D) Common Use (CU) District:** The intent and purpose of the Common Use (CU) District is to:

- (1) *Recreation:* Provide opportunities for the shared recreational use of private waterfront land for residents of a development; and
- (2) *Preservation:* Preserve and protect the environmental quality by preventing overcrowding of the Township's waterbodies.

## §5.15 - SCHEDULE OF USES

Land and structures shall only be used for the uses specified below, unless otherwise permitted in this Ordinance.

**(A) Description:** Uses, as denoted in the Schedule of Uses, are described below.

- (1) "P" identifies uses that are permitted.
- (2) "S" identifies special land uses.
- (3) "PA" identifies permitted accessory uses.
- (4) "SA" identifies accessory special land uses.
- (5) "-" identifies uses that are not permitted. Uses that are not listed are also not permitted.

**(B) Schedule of Uses:** Uses are grouped into major categories. Only those uses listed under each category are permitted.

Table 5.15(B): Schedule of Uses						
Use	Zoning District					
(1) Residential	RR	LR <sup>(1)</sup>	MHR	CU	Specific Standards	
a. Single-family dwelling	P	P	-	-	§13.15(A)	
b. Two-family dwelling	P	P	-	-	§13.15(B)	
c. Accessory dwelling	PA	PA	-	-	§13.15(D)	
d. Day care, family home	P	P	-	-	§13.15(H)	
e. Day care, group home	S	S	-	-	§13.15(I)	
f. Foster care facility, family home	P	P	-	-	§13.15(G)	
g. Foster care facility, group home	S	S	-	-	§13.15(G)	
h. Home occupation	PA	PA	PA	-	§13.15(F)	
i. Mobile home park	-	-	P	-		
(2) Agriculture, Fishing, & Hunting	RR	LR <sup>(1)</sup>	MHR	CU	Specific Standards	
a. Biofuel production, small	P	-	-	-	§13.65(C)	
b. Biofuel production, large	S	-	-	-	§13.65(D)	
c. Commercial agriculture, excluding slaughterhouses	P	-	-	-	§13.20(A)	
d. Commercial stable	S	-	-	-	§13.20(B)	
e. Conservation area and game refuge	P	-	-	-		



Table 5.15(B): Schedule of Uses, <i>continued</i>						
Use	Zoning District					
(2) Agriculture, Fishing, & Hunting, <i>continued</i>	RR	LR <sup>(1)</sup>	MHR	CU	Specific Standards	
f. Hunting preserve	S	-	-	-		
g. Private stable	PA	SA	-	-		§13.20(G)
h. Roadside stand	P	-	-	-		§13.20(E)
i. Sod farm	S	-	-	-		
j. Winery	S	-	-	-		§13.20(C)
(3) Business, Commercial, & Retail	RR	LR <sup>(1)</sup>	MHR	CU	Specific Standards	
a. Commercial kennel	S	-	-	-		§13.55(A)
b. Landscape nursery and greenhouse, including sales of plant materials and supplies	S	-	-	-		
c. Veterinary clinic	S	-	-	-		§13.25(B)
(4) Arts, Entertainment, & Recreation	RR	LR <sup>(1)</sup>	MHR	CU	Specific Standards	
a. Commercial watercraft access ramp	-	S	-	-		
b. Common use access lot	S	S	-	P		§13.40(G)
c. Golf course or country club	S	-	-	-		§13.40(C)
d. Marina or yacht club	-	S	-	-		§13.40(F)
e. Outdoor athletic facility or similar recreation facility of an open-space and low-intensity nature	P	S	P	P		§13.60(E)
f. Outdoor shooting range	S	-	-	-		§13.40(A)
g. Public park or playground	-	S	P	P		§13.60(E)
h. Recreation site dedicated for a platted subdivision or site condominium	P	P	P	P		§13.60(E)
i. Special event facility	S	-	-	-		§13.40(E)
j. Watercraft sales, repair, or storage	-	S	-	-		§13.25(D), §13.40(F)
(5) Food Service	RR	LR <sup>(1)</sup>	MHR	CU	Specific Standards	
a. Entrepreneurial kitchen	SA	SA	-	-		§13.45(E)
(6) Institutional	RR	LR <sup>(1)</sup>	MHR	CU	Specific Standards	
a. Polling place	P	P	P	P		
b. Religious institution, including housing for affiliated personnel	S	S	-	-		§13.60(A)
c. School	S	S	-	-		§13.60(D)
(7) Other	RR	LR <sup>(1)</sup>	MHR	CU	Specific Standards	
a. Accessory uses customarily incidental and subordinate to the permitted principal use	PA	PA	PA	PA		
b. Bed and breakfast	S	S	-	-		§13.35(A)
c. Community well	S	S	S	-		§17.15(B)
d. Community sewage system	S	S	S	-		§17.20(B)
e. Day care center	S	-	-	-		§13.55(B)



Table 5.15(B): Schedule of Uses, <i>continued</i>						
Use		Zoning District				Specific Standards
(7) Other, <i>continued</i>		RR	LR <sup>(1)</sup>	MHR	CU	
f.	MET Tower	P	-	-	-	§16.75
g.	Private club or meeting hall	S	-	-	-	
h.	Private landing strip or heliport	S	-	-	-	§13.70(A), §13.70(B)
i.	Sign	PA	PA	PA	PA	Article 21
j.	Solar energy system	PA	PA	PA	PA	§16.80
k.	Utility substation	S	-	-	-	§13.65(B)
l.	WECS, micro	PA	PA	PA	PA	§16.75
m.	WECS, small	PA	PS	PA	PA	§16.75
n.	Wireless communication facility, new	S	-	-	-	§13.65(A)
o.	Wireless communication facility, minor colocation	PA	PA	PA	-	§13.65(A)
p.	Wireless communication facility, major colocation	SA	SA	SA	-	§13.65(A)

(1) *Lake Residential District:* This shall apply to all Lake Residential Districts.

(C) **Interpretation:** For specific uses that are not listed, the Director of Planning and Zoning shall determine if that use is substantially similar in character and impact to any of the uses listed in the Schedule of Uses.

- (1) *Similar Use:* If a specific use that is not listed is determined to be substantially similar in character and impact to a use in the Schedule of Uses, it shall then be subject to the same use and development standards as that similar, listed use.
- (2) *No Similar Use:* If a specific use that is not listed is determined to not be substantially similar in character and impact to any of the uses in the Schedule of Uses, it shall not be permitted.

## §5.20 - LOT STANDARDS

Lots shall only be created or altered in a manner that complies with the minimum area, frontage, and other standards outlined below, unless otherwise permitted in this Ordinance.

Table 5.20: Lot Standards				
District		Minimum Lot Area <sup>(A)</sup>	Minimum Lot Width <sup>(B)</sup>	Minimum Lot Frontage <sup>(C, D)</sup>
(A)	RR Rural Residential	2 acres	150 feet	150 feet <sup>(D)</sup>
(B)	1. Lake Residential, on-site septic	1 acre	50 feet	50 feet
	2. Lake Residential, off-site septic or sewer	12,500 square feet	50 feet	50 feet
(C)	MHR Mobile Home Residential	10 acres	330 feet	330 feet
(D)	CU Common Use Residential	2 acres	200 feet	200 feet



- (A) **Lot Area:** The lot area is measured as the total horizontal area within the lot lines of a lot, excluding any street right-of-way or easement, other permanent access easement, bottomland, and wetland within the lot. See **Article 35**: Definitions for the complete description.
- (B) **Lot Width:** The lot width is measured as the horizontal distance between the side lot lines at a distance equal to the front-yard setback. See **Article 35**: Definitions for the complete description.
- (C) **Lot Frontage:** The lot frontage is measured as the horizontal length of the front-lot line. See **Article 35**: Definitions for the complete description.
- (D) **Frontage for Corner Lots:** For corner lots, see §12.10(C): Corner Lot Frontage.
- (E) **Cul-de-Sac:** The lot frontage in Rural Residential (RR) Districts may be reduced to sixty-six (66) feet where the front lot line is along a curvilinear segment of road, such as a cul-de-sac, if requiring the full distance would result in a lot with an unnecessarily excess lot width or lot area. The lot shall meet the minimum lot width for at least sixty-six (66) percent of the lot's depth.
- (F) **Lake Residential District:** This shall apply to all Lake Residential Districts.

## §5.25 - DEVELOPMENTAL STANDARDS

Structures and lots shall only be created and modified in a manner that complies with the developmental standards below, unless otherwise permitted in this Ordinance.

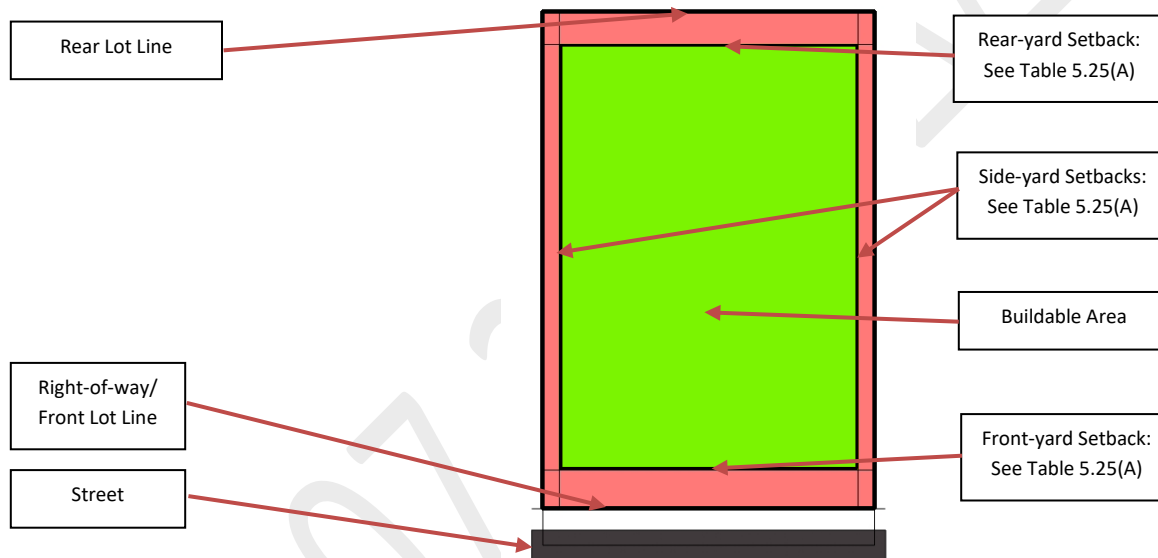
- (A) **Setbacks:** Structures and lots shall only be created and modified in a manner that complies with the minimum setbacks outlined below, unless otherwise permitted in this Ordinance.

Table 5.25(A): Minimum Setbacks <sup>(1)</sup>								
District			Front-yard <sup>(2,6)</sup>	Side-yard <sup>(6)</sup>	Rear-yard <sup>(6)</sup>	Waterbody <sup>(6)</sup>	Wetland <sup>(6)</sup>	Building-to-Building <sup>(6)</sup>
(1)	RR	Rural Residential	35-80 feet <sup>(2)</sup>	15 feet	30 feet	50 feet	25 feet	10 feet
(2)	LR1	Lake Residential	25-80 feet <sup>(2)</sup>	5+ feet <sup>(4)</sup>	30 feet	50 feet <sup>(5)</sup>	25 feet	10 feet
(3)	LR2	Portage Lake Residential East	25-50 feet <sup>(2)</sup>	5+ feet <sup>(4)</sup>	30 feet	40-50 feet <sup>(5)</sup>	25 feet	10 feet
(4)	LR3	Portage Lake Residential West	25-35 feet <sup>(2)</sup>	5+ feet <sup>(4)</sup>	25 feet	30-45 feet <sup>(5)</sup>	25 feet	10 feet
(5)	LR4	Silver Lake Residential North	20-80 feet	5+ feet <sup>(4)</sup>	20 feet	35-40 feet <sup>(5)</sup>	25 feet	10 feet
(6)	LR5	Half Moon Lake Residential North	25 feet	5+ feet <sup>(4)</sup>	25 feet	45-55 feet <sup>(5)</sup>	25 feet	10 feet
(7)	LR6	Half Moon Lake Residential South	20-50 feet	5+ feet <sup>(4)</sup>	25 feet	30-50 feet <sup>(5)</sup>	25 feet	10 feet



**Table 5.25(A): Minimum Setbacks<sup>(1)</sup>, continued**

District			Front-yard <sup>(2,6)</sup>	Side-yard <sup>(6)</sup>	Rear-yard <sup>(6)</sup>	Waterbody <sup>(6)</sup>	Wetland <sup>(6)</sup>	Building-to-Building <sup>(6)</sup>
(8) LR7	North Lake Residential North		25-35 feet <sup>(2)</sup>	5+ feet <sup>(4)</sup>	30 feet	40-80 feet <sup>(5)</sup>	25 feet	10 feet
(9) LR8	North Lake Residential South		20-50 feet <sup>(2)</sup>	5+ feet <sup>(4)</sup>	25 feet	30-50 feet <sup>(5)</sup>	25 feet	10 feet
(10) MHR	Mobile Home Residential		50-80 feet <sup>(2)</sup>	15 feet	30 feet	50 feet	30 feet	15 feet
(11) CU	Common Use Residential		50-80 feet	15 feet	30 feet	50 feet	30 feet	10 feet

**Figure 5.25(A): Minimum Yard Setbacks**

- (1) *Setback Description:* Setbacks are the minimum required distance, measured horizontally, from a structure to the lot lines and other features or improvements. See **Article 35**: Definitions for the complete description.



- (2) *Front-yard Setbacks:* The following shall apply to front-yard setbacks. The minimum front-yard setbacks are outlined in the table below.

Table 5.25(A)(2): Minimum Front-yard Setbacks																												
District	Streets																											
	Local	Brand	Bell	Colby	Dancer	Dexter-Pinckney	Dexter-Townhall	Donner	Fleming	Hankerd	Huron River	Island Lake	Lima Center	Madden	McGuiness	McGregor	McKinley	Noah	North Lake	North Territorial	Quigley	Riker	Stofer	Stinchfield Woods	Toma	Waterloo	Wylie	
a. RR	35	80	50	80	80	80	80	80	80	80	80	80	80	80	50	50	80	50	50	80	80	80	80	80	80	80	80	
b. LR1	25	80	50	80	80	80	80	80	80	80	80	80	80	80	50	35	80	50	35	80	80	80	80	80	80	80	80	
c. LR2	25	80	50	80	80	80	80	80	80	80	80	80	80	80	80	35	80	80	35	80	80	80	80	80	80	80	80	
d. LR3	25	80	50	80	80	35	80	80	80	80	80	80	80	80	80	35	80	80	35	80	80	80	80	80	80	80	80	
e. LR4	20	80	50	80	80	80	50	80	80	80	80	80	80	80	80	35	80	80	35	80	80	80	80	80	80	80	80	
f. LR5	25	80	50	80	80	80	50	80	80	80	80	80	80	80	80	35	80	80	35	80	80	80	80	80	80	80	80	
g. LR6	20	80	50	80	80	80	50	80	80	80	80	80	80	80	80	35	80	50	35	80	80	80	80	80	80	80	80	
h. LR7	25	80	50	80	80	80	50	80	80	80	80	80	80	80	80	35	80	50	35	80	80	80	80	80	80	80	80	
i. LR8	25	80	50	80	80	80	50	80	80	80	80	80	80	80	80	35	80	50	35	80	80	80	80	80	80	80	80	
j. MHR	50	80	50	80	80	80	80	80	80	80	80	80	80	80	80	50	80	50	50	80	80	80	80	80	80	80	80	
k. CU	50	80	50	80	80	50	80	80	80	80	80	80	80	80	80	50	80	50	50	80	80	80	80	80	80	80	80	

- a. *How Measured:* The front-yard setback shall be measured from the right-of-way or access easement.
- b. *Corner or Double-frontage Lots:* Corner and double frontage lots shall have a front-yard setback along each front-lot line.
- (3) *Access Easements:* Setbacks from easements, including access easements and lake access easements, shall be measured from the edge of the easement.
- (4) *Side-yard Setback Lake Residential Districts:* The side-yard setback shall be increased at a ratio of one (1) to three (3) for buildings with a height greater than eighteen (18) feet.



- (5) **Waterbody Setback:** Structures shall not be permitted within the required waterbody setback. This shall not apply to certain minor accessory structures, including, but not limited to, docks, seawalls, retaining walls, sidewalks, and low decks and patios. The minimum waterbody setback from the ordinary high-water mark shall be determined as follows:
- Adjacent Buildings:** When there are principal buildings on both adjacent lots, the waterbody setback shall be a straight line drawn between the adjacent principal buildings.
  - Point or Peninsula:** For lots at the end of a point or peninsula or adjacent to parkland, the minimum waterbody setback shall be the distance equal to the average waterbody setback of the two (2) closest lots.
  - Vacant Lots:** When one (1) or both of the adjacent lots are vacant, the next adjacent lots shall be used. When two (2) lots in both directions are vacant, the waterbody setback shall be the larger distance in **Table 5.25(A): Minimum Setbacks**.
  - Large Setbacks:** When principal buildings on adjacent lots are set back a distance greater than the larger distance in **Table 5.25(A): Minimum Setbacks** from the ordinary high-water mark, the waterbody setback shall be the larger distance in **Table 5.25(A): Minimum Setbacks**.
  - Minimum Setback:** The waterbody setback shall never be less than the smaller distance in **Table 5.25(A): Minimum Setbacks**.
  - Show Buildings:** Site plans, plot plans, and surveys shall show the location of adjacent buildings, as outlined in **Table 26.15(D)(4)c**.

Figure 5.25(A)(4)a: Adjacent Buildings

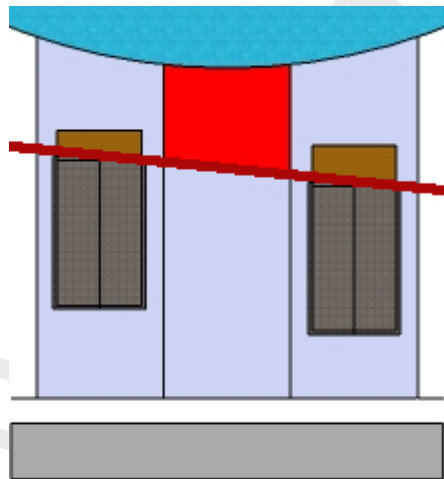


Figure 5.25(A)(4)b: Point or Peninsula

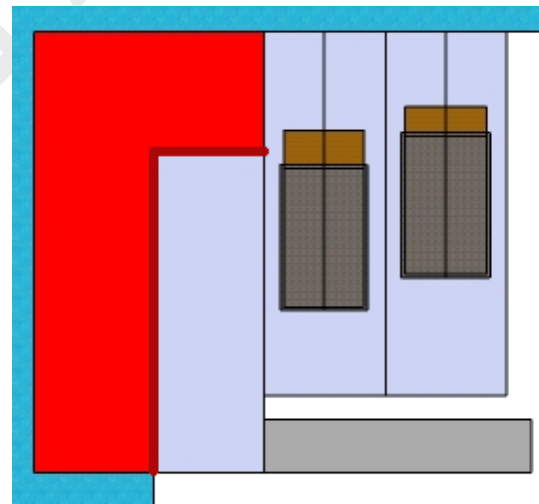




Figure 5.25(A)(4)c: Vacant Lots

Figure 5.25(A)(4)d: Large Setbacks

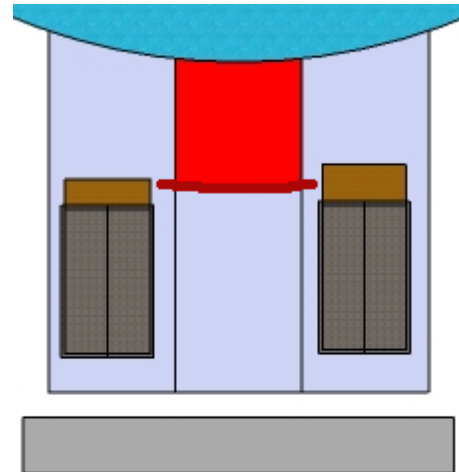
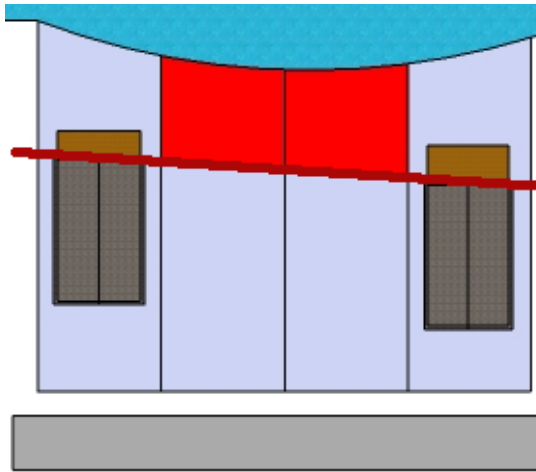
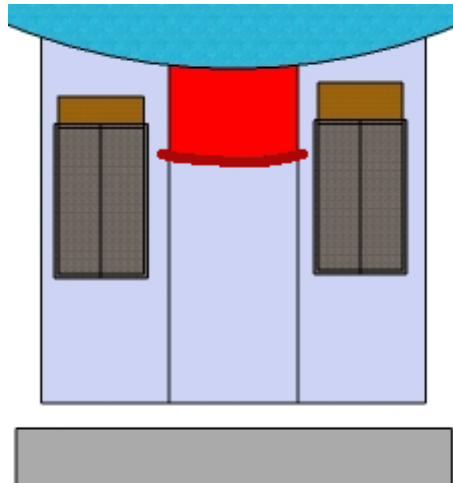


Figure 5.25(A)(4)e: Minimum Setback





- (6) *Setback Projections:* Certain architectural features may project into the required front-yard, side-yard, rear-yard, waterbody, wetland, and building-to-building setbacks but shall be at least five (5) feet from any lot line and at least twenty (20) feet from waterbodies, as outlined in the table below.

**Table 5.25(A)(6): Setback Projections**

Projection	Front-Yard	Side-Yard	Rear-Yard	Waterfront-Yard	Wetland	Building-to Building
a. Awnings or canopies	3 feet	2 feet	5 feet	-	3 feet	1 foot
b. Bay or garden windows	3 feet	2 feet	3 feet	2 feet	3 feet	-
c. Roof Overhangs	3 feet	3 feet	3 feet	3 feet	3 feet	1 foot
d. Low, unroofed porches, decks, patios, and steps <sup>(a)</sup>	5 feet	5 feet	5 feet	-	-	2 feet
e. Ground-level unroofed porches, decks, patios, and steps <sup>(b)</sup>	5 feet	5 feet	10 feet	10 feet	-	10 feet
f. Window air conditioning units	2 feet	2 feet	2 feet	2 feet	2 feet	2 feet
g. Window Wells	4 feet	4 feet	4 feet	4 feet	-	-

- a. *Low Porch, Deck, Patio, or Steps:* This shall apply to unroofed porches, decks, patios, and steps with a finished floor that is within six (6) feet of the natural adjacent grade. The railing shall have a maximum height of three (3) feet from the finished floor and have a maximum opacity of fifty (50) percent.
- b. *Ground-level Porch, Deck, Patio, or Steps:* This shall apply to unroofed porches, decks, patios, and steps with a finished floor that is within eighteen (18) inches of the natural adjacent grade at all points. The railing shall have a maximum height of three (3) feet from the finished floor and have a maximum opacity of fifty (50) percent.



- (B) **Height & Coverage:** Structures and lots shall only be created and modified in a manner that is consistent with the height and coverage outlined below, unless otherwise permitted by this Ordinance.

<b>Table 5.25(B): Maximum Height &amp; Coverages</b>					
<b>Zoning District</b>			<b>Height<sup>(1,2)</sup></b>	<b>Building Coverage<sup>(3)</sup></b>	<b>Impervious Coverage<sup>(4)</sup></b>
(1)	RR	Rural Residential	30 feet	10 percent	20 percent
(2)	LR1	Lake Residential	30 feet	30 percent	40 percent
(3)	LR2	Portage Lake Residential East	27 feet	30 percent	45 percent
(4)	LR3	Portage Lake Residential West	27 feet	30 percent	45 percent
(5)	LR4	Silver Lake Residential North	27 feet	35 percent	55 percent
(6)	LR5	Half Moon Lake Residential North	30 feet	30 percent	50 percent
(7)	LR6	Half Moon Lake Residential South	28 feet	30 percent	45 percent
(8)	LR7	North Lake Residential North	30 feet	30 percent	45 percent
(9)	LR8	North Lake Residential South	28 feet	35 percent	50 percent
(10)	MHR	Mobile Home Residential	20 feet	15 percent	30 percent
(11)	CU	Common Use Residential	18 feet	5 percent	15 percent

- (1) **Height Description:** The vertical distance measured from the finished grade to the highest roof surface or the average height between the drip edge and the peak for the highest roof surface for sloped roofs. See [Article 35](#): Definitions for the complete description.
- (2) **Height Projections:** Some structures or portions of structures may extend above the maximum height in [Table 5.25\(B\): Maximum Height & Coverages](#); see [§12.20](#): Structures.
- (3) **Building Coverage Description:** The horizontal area of the lot that is covered by buildings, including breezeways, arbors, and roofed porches, patios, and decks. See [Article 35](#): Definitions for the complete description.
- (4) **Impervious Coverage Description:** The horizontal area of the lot that is covered by buildings, including overhangs, and other impervious surfaces that cannot be effectively and easily penetrated by water. See [Article 35](#): Definitions for the complete description.

*End of Article 5.*



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- vii. Minimum Yard Side - Ten (10') feet one side; twenty-five (25') feet for the sum of both side yards.
- viii. Minimum Yard Rear - Twenty (20') feet.
- ix. Maximum Height Principal Structure - forty (40') feet.
- x. Maximum Height Detached Accessory Structure - Twenty-five (25') feet.
- xi. Parking- A single family dwelling shall provide at least one on-site parking space.

**Section 9.22**      **Base Line Lake Residential District (BLLR)** ([Back to Table of Contents](#))

**A. Intent.** This district is established to permit single-family detached residences and other residential uses at an appropriate density on the southern shore of Base Line Lake. To maintain the environmental quality of the lake, public sewer connection is required in the BLLR District. The intent of this district is to maintain the area's unique aesthetic appearance, maintain the established view sheds and open space as well as to protect the health, safety and welfare of the residents and the environment, in particular the health of Base Line Lake.

**B. Permitted Uses.**

- i. Dwelling: Single Family Detached.
- ii. Family Day-Care Home.
- iii. Home Occupation.
- iv. State Licensed Residential Facility.

**C. Special Uses.**

- i. Group Day-Care Home.
- ii. Recreational Park.
- iii. Recreational Facility

**D. Design Standards.**

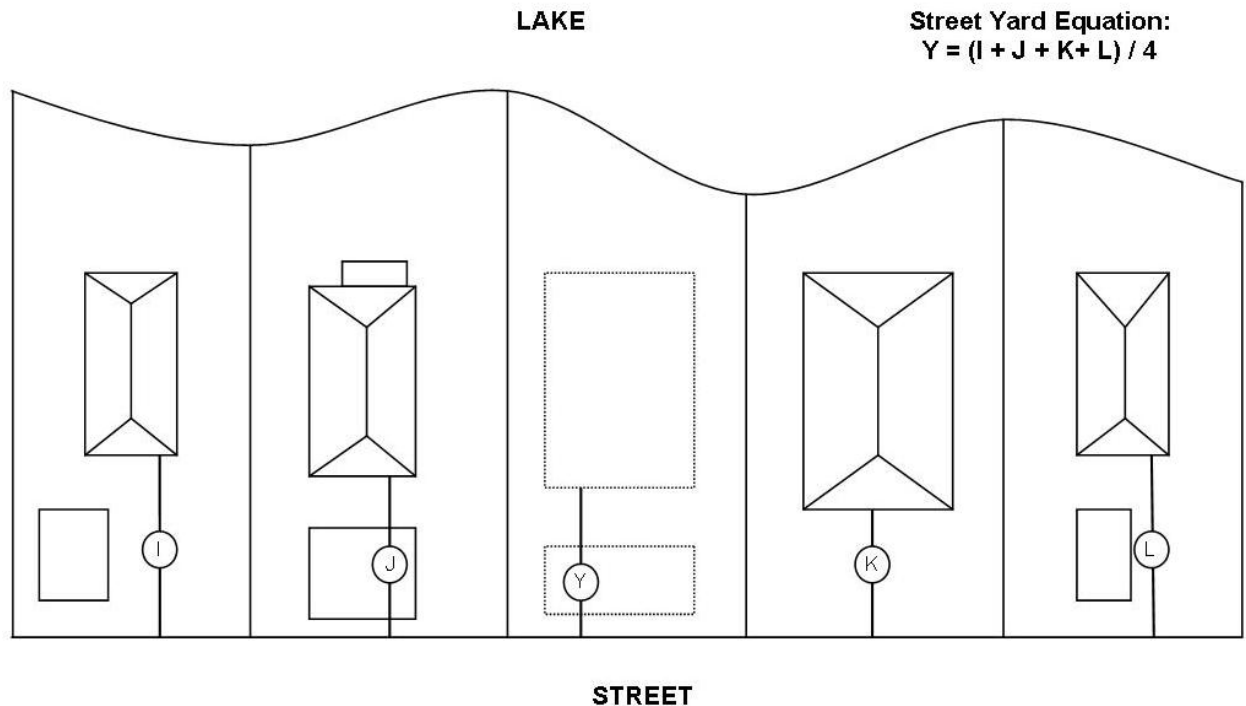
To prevent encroachments and maintain the integrity of setbacks as defined in Article 2 of this Ordinance, all setbacks shall be measured from the property line to the nearest portion of the structure, including eaves, porches and attached accessory buildings, per Section 13.15.B, excluding decks as specified below.

Where the setback is determined by the average of the setbacks on adjacent and nearby zoning lots, the distances may be determined by one of the following methods: sealed surveys of the properties, measurements from aerial photographs, or other methods approved by the Zoning Administrator. The method used for determining average setbacks must be noted on the drawings submitted for the preliminary certificate of zoning compliance.



- i. Minimum Lot Area - Ten thousand (10,000') square feet.
- ii. Minimum Lot Width - Fifty (50') feet.
- iii. Maximum Lot Coverage – Thirty (30%) percent.
- iv. Minimum Front (Street) Yard for principal building- Front, side, or rear yard abutting a public or private road: the average of the distances from the street right-of-way to the street-facing façade closest to the street of the principal buildings on the four zoning lots closest to the subject site on the same side of the street (see illustration below).

The front (roadside) setback requirements for principle and secondary structures do not apply to lots where the center of principle structure rear (lakeside) façade is greater than 150 feet from established lake shoreline (seawall) and lot maximum side dimension is greater than 250 feet. Only minimum front (roadside) street yard requirement (5 feet) and minimum side yard requirement for all structures must be met.

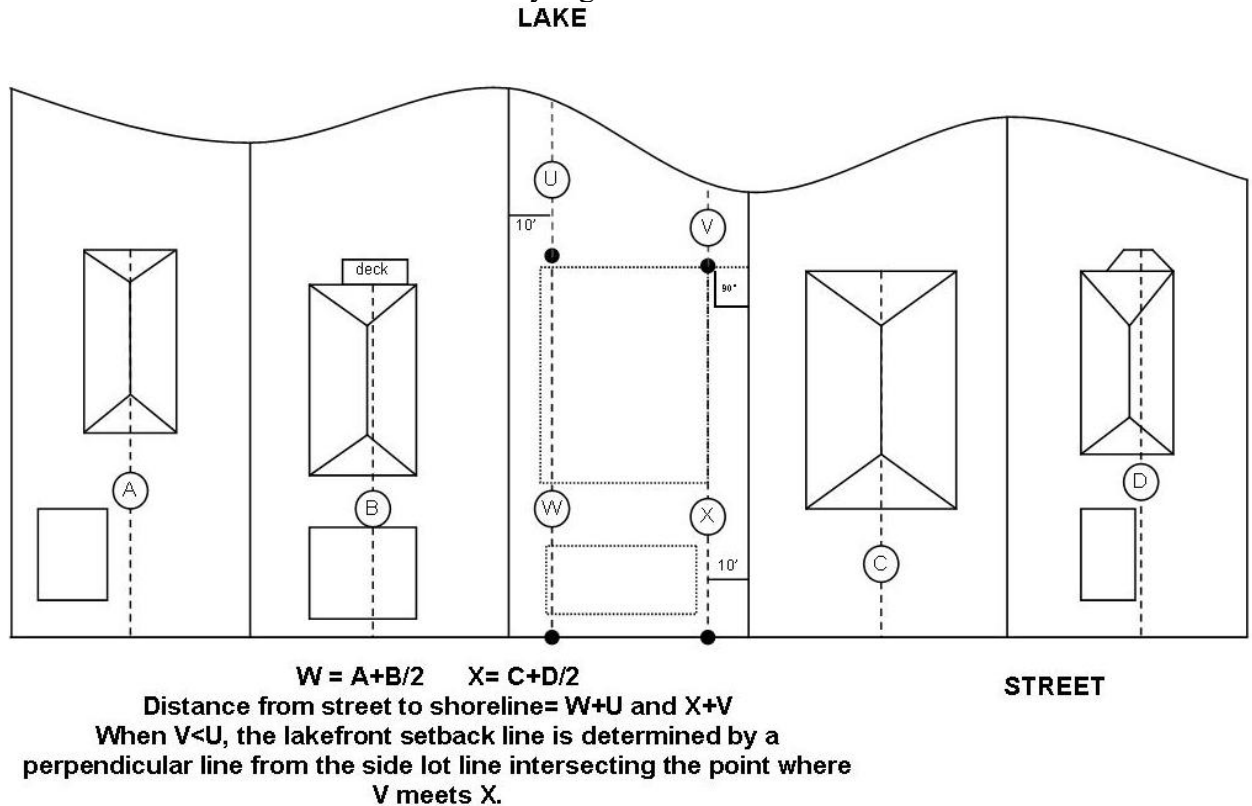


- v. Minimum Rear (Lake) Yard for principal building – The intent of the minimum rear yard setback regulations is to maintain the established building wall facing Base Line Lake. The lakeside setback will be determined by the following procedure, based on the accompanying illustration:
  - a. Potential Minimum Rear (Lake) Yard – One of the potential minimum rear lake yards will be determined by the average of the distance from the street right-of-way line to the centerpoint of the façade of the principal buildings (including building projections such as french windows and attached accessory buildings) facing the lake on the two zoning lots to the left of the subject site (distance “W”



on below illustration). The second potential minimum rear lake yard will be determined using the same method using the distances on the two zoning lots to the right of the subject site (distance “X” on below illustration). The measurements identified as “W” and “X” shall each be taken ten feet (10’) from the nearest, parallel lot line although the sideyard setbacks remain as five and ten feet each.

- b. Selection of Minimum Rear (Lake) Yard Control Point - Whichever of the two averaged distances results in a point closest to the ordinary high water mark will determine the control point for the establishment of the minimum rear (lake) yard line so that when “V” measures less than “U”, the point where “V” meets “X” is the control point.
- c. Minimum Rear (Lake) Yard Line – The minimum rear (lake) yard line, behind which all building on the lot must occur, is determined by drawing a line perpendicular to the nearest side lot line from this control point to establish the lakeside setback from the ordinary high water mark.



- vi. Maximum Height Principal Structure – Thirty-five (35') feet.
- vii. Minimum Side Yard for all Structures – Ten (10') feet one side with no encroachments (buildings, trees, bushes) to allow unimpeded access to the lake; five (5') feet for the other side yard, with a minimum of fifteen (15') between the structures and any structure on the abutting property.



viii. Deck Regulations:

- a. Location: Decks are allowed in all yards.
- b. Minimum side yard – See minimum side yard for all structures.
- c. Maximum encroachment into rear (lake) yard - No deck shall extend beyond twenty (20') feet beyond the rear (lake) façade.
- d. Maximum encroachment into the front (street) yard – For properties with no front yard detached structures, no deck shall extend beyond twenty (20') feet beyond the front (street) façade. If a detached structure exists in the front yard, no deck shall extend beyond the street side wall of the structure.
- e. Maximum deck height: Thirty (30") inches. The deck height shall be measured at the perimeter of the deck and the highest point shall be used for determining deck height. If the deck height exceeds thirty inches, the deck shall become part of the building structure and subject to the calculation of yard setbacks.

ix. Detached Accessory Structure Regulations

- a. Maximum Height - Twenty-five (25') feet.
- b. Location – Front (street) and side yards only. No detached accessory structures are allowed in the rear (lake) yards.
- c. Minimum Front (Street) Yard – Five (5') feet.
- d. Minimum Side Yard – See minimum side yard for all structures.
- e. Distance from Front façade of Principal Structure – Rear (lakeside) façade of the detached accessory structure may be placed at no more than 50% of the lot centerline dimension from the front (roadside) lot line to the front (roadside) façade of the principle structure.

x. Parking- A single family dwelling shall provide at least one on-site parking space.

**Section 9.25**      **Multi-Family Residential District (R-3)**      ([Back to Table of Contents](#))

**A. Intent.** This district is established to permit single-family dwelling units on small lots, attached single-family dwellings such as condominiums, duplexes, and multi-family dwelling units in one residential structure serviced by public water and sanitary sewer. Multi-Family Residential Districts are intended to be located in those areas of the Township designated for that use in the Master Plan.

**B. Permitted Uses.**

- i. Bed and Breakfast Establishment.
- ii. Dwelling: Multi Family.
- iii. Dwelling: Single Family Detached
- iv. Dwelling: Single Family Attached.
- v. Dwelling: Two Family Duplex.
- vi. Family Day-Care Home.
- vii. Home Occupation.